



Moffat County Courthouse FEASIBILITY STUDY

INTRODUCTION

The Courthouse Feasibility Study process was conducted in a collaborative and hands-on manner that involved multiple levels of communication and coordination. The process included participants from the Moffat County Commission and department heads and members of the 14th Judicial District. These stakeholders worked collectively to ensure that the overall goals of the county were developed holistically. These groups are listed to the right.

MOFFAT COUNTY COMMISSIONERS

Don Cook, District 1
Ray Beck, District 2
Donald Broom, District 3

ELECTED OFFICIALS

Chuck Coob, County Assessor Tammy Raschke, County Clerk and Recorder Linda Peters, County Treasure Jesse Arthurs, County Coroner

ADMINISTRATION TEAM

Rebecca Tyree, County Attorney
Jessica Counts, County Extension
Roy Tipton, Development Services
Lennie Gillam, Facilities
Mindy Curtis, Finance
Lynnette Siedschlaw, Human Resources
Annette Norton, Human Services
Mason Siedschlaw, Information Technology
Jeff Comstock, Natural Resources
Ed Wilkinson, Veterans Services
Jesse Schroeder, Weed and Pest
Tara Wojtlkiewicz, Youth Services

14TH JUDICIAL DISTRICT, MOFFAT COUNTY

Michael O'Hara, District Chief Judge Peggy Gentles, Court Executive Maria Malatino, Clerk of Court Matt Karzen, District Attorney Tim Griffith, Probation

FEASIBILITY STUDY TEAM

TreanorHL

Architectural Design

JVA Consulting Engineers

Civil/Structural Engineering

Cator Ruma

Mechanical Engineering
Electrical Engineering
Plumbing Engineering
FCI Constructors

Cost Estimating

CONTENTS

	A. Team Members
II.	EXECUTIVE
	SUMMARY p. 7
	A. Background and
	Demographic Information
	B. Existing Facility Conditions

INTRODUCTION

- C. Programs Requirements
- D. Future Use Analysis
- E. Conclusion
- III. LOCATION OF FACILITES p. 15
 - A. Geographic Landmarks
 - B. Transporation and Services
 - C. Elevation and Climate Trends
 - D. Renewable Engery Options

IV. FACILITY ASSESSMENTS AND EVALUATIONS p. 26

- A. Existing Moffat County Courthouse
- B. Former Kmart Building
- V. SPACE NEEDS p. 69
 - A. County Departments Space Needs Program
 - B. Courts Space Needs Program
- VI. EXPANSION OPTIONS p. 75
 - A. Existing Moffat County Courthouse Addition & Renovation
 - B. Former Kmart Building Renovation
 - C. Estimated Project Costs





II. EXECUTIVE SUMMARY

Moffat County Courthouse FEASIBILITY STUDY 7

BACKGROUND AND DEMOGRAPHIC INFORMATION

In March of 2020, Moffat County engaged TreanorHL and their consulting team to assist in the facilitation and creation of a Courthouse Feasibility Study for the county departments and the 14th Judicial District. This study was developed to address the space planning and needs assessment of the existing courthouse and a possible new county courthouse.

Moffat County was established in 1911 and is located in Northwest Colorado. The current courthouse located at 221 W. Victory Way was built in 1917. The building has undergone numerous remodels and one significant addition in 1962.

Current functions within the building include: County Assessor, County Clerk and Recorder, Elections, County Treasurer, County Commissioners, Administration, Natural Resources, Finance, Human Resources, Buildings and Grounds, Attorney, Development Services, IT/GIS, Youth Services, District Attorney, and County, State and District Courts. Functions not in the current facility that are expected to be in any new building include, Human Services, Weed and Pest Management, CSU, Extension Office and Veterans Services.

This feasibility study began with the distribution of surveys to each of the stakeholder groups to begin to capture basic information to frame the program discussions. The study focuses its attention on the condition of the facilities, the program spaces required to adequately perform the required functions and the facilities ability to support these programmatic requirements.

Throughout the feasibility study, the goal was to provide a safe and secure facility for court functions and purpose-designed spaces for



8 FEASIBILITY STUDY Moffat County Courthouse II. EXECUTIVE SUMMARY

the county departments. Another key driver was to determine the most cost-effective use of the buildings to include not only the construction costs but the on-going life cycle and maintenance costs of the facilities.

Moffat County is the second largest county by area, covering 4,751 square miles. It was created out of the western portion of Routt County on February 27, 1911 and named after Denver mining and railroad mogul David Moffat.

The Yampa River flows west through the county seat of Craig and meets the Green River in Dinosaur National Monument near the Utah border. US Route 40 and State Highway 13 are the only major highways; US 40 runs east-west from Craig into Utah, and Highway 13 runs north-south from Meeker, through Craig, and into Wyoming. The county economy is mostly supported by energy development, including coal mining and natural gas drilling, although ranching, agriculture and tourism also contribute. Between 1922 and 1955, Moffat County mines produced more than 1.8 million tons of coal, including a peak period of

more than 100,000 tons annually between 1943 and 1951. Increasing energy demand throughout the 1960s spurred another coal boom in eastern Moffat County during the 1970s. Statewide coal production hit its peak at 40 million tons in 2004 but has been steadily declining since. Moffat County's coal mines have not escaped this downward trend. In 2013 production declined about 19 percent from the year before. Coal mining remains the most important part of the Moffat County economy, even as health care and retail have joined it as the top three local industries.

As electrical power generation continues to transition away from coal to cleaner options including wind and solar, Tri-State Generation & Transmission, Craig's power plant has announced in January of 2020 that it will close its coal mine and coal fired power plant units over the next decade. Unit 1 is slated for closure by 2025 and Units 2 and 3 will be retired over the next decade.

The U.S. Census Bureau estimated population of Moffat County to be 13,283 in 2019. This population represents a 3.7% decrease since the April 2010 Census count of 13,795. The Colorado State Demographer projected the County would not grow but remain largely stagnant through 2050.



II. EXECUTIVE SUMMARY

Moffat County Courthouse FEASIBILITY STUDY

EXISTING FACILITY CONDITIONS

The feasibility study included the review of two facilities, the existing Moffat County Courthouse located at 221 W. Victory Way, and a former Kmart building located at 1198 W Victory Way. The majority of the County departments and the Courts functions are housed in the existing courthouse. The study also included the program functions located in the Department of Human Services Building (595 Breeze Street,) County Extension Office (529 Barclay Street), Veterans Services (480 Barclay Street), and the Public Health Department (580 Pershing Street #300).

TreanorHL and our consultants conducted a facility assessment of the existing Courthouse. The full assessment can be found later in the report. Major deficiencies were found in the following areas:

- Compliance with current codes
- Safety and security
- ADA accessibility
- Aged mechanical, electrical, and plumbing systems
- No fire sprinkler system
- Inefficiency of the building envelope
- Deferred maintenance items.
- Inefficient program areas and significant security issues

The team also reviewed the former Kmart building. The full assessment for this building can also be found later in the report. The general finding was that the size and general condition of the building would make it a viable option to relocate the Courts and County Departments to this building. The following general items are recommended to be addressed:

- Replace the roof top mechanical units
- Replace electrical distribution equipment

- Increase the insulation values of the walls and roof to meet current Energy Code requirements
- Site improvements including repaying of parking areas



Existing Courthouse



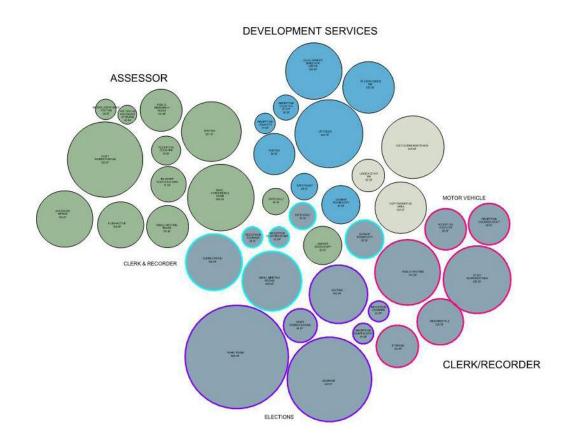
Kmart building

10 FEASIBILITY STUDY Moffat County Courthouse

PROGRAM REQUIREMENTS

Through surveys, stakeholder meetings, and touring the exiting courthouse, TreanorHL gathered information on each department to develop a detailed space needs program.

The program determined that the Courts functions need 41,585 sf and the County Departments need 61,952 sf. The existing Courthouse is approximately 52,250 sf of occupialbe space.



II. EXECUTIVE SUMMARY

Moffat County Courthouse FEASIBILITY STUDY 11

FUTURE USE ANALYSIS

The second option is to renovate the former Kmart building for all court and county functions. A new pre-engineered building is proposed to be built to the east of the building for Facilities including space for all Facilities and County fleet vehicles.

A new entry would be constructed and the entry drive moved further away from the building to create an entry plaza. Portions of the existing façade would be clad in stone and stucco and windows added.

Based on the program space needs, the existing courthouse is not large enough to adequately house all the county departments and court functions. Two options were explored to provide the additional space needed.

The first option is to add a three-story approximately 55,000 sf addition to the existing courthouse for the courts and renovate the existing courthouse for the county departments. The addition would be located to the north of the existing courthouse on the existing parking lot with a new public entry between the existing and the addition with the main entrance being from the west. The new addition would be clad with a combination of stone or brick and stucco.



Existing Courthouse Site



Kmart Site

12 FEASIBILITY STUDY Moffat County Courthouse II. EXECUTIVE SUMMARY

CONCLUSION

Through the feasibility study process two options for expansion were explored and the merits of each evaluated.

The option to renovate and add onto the existing courthouse allows the existing courthouse to continue to be utilized. By adding the new entry, court security screening concerns would be addressed and future security screening for the county departments could be achieved if desired. Due to the layout of the existing building and the load-bearing walls in the 1917 portion, department layouts in the existing building are not as efficient and some compromises had to be made to work around existing conditions. The addition also takes away a large portion of the existing parking. An additional parking lot could be added at a

county owned lot to the East of the site, but this is not included in the current scope proposed.

Any addition and renovation to the existing courthouse will require a multiple phase project. The new construction would occur first allowing the existing building to remaim operational. All departments in the existing courthouse would move into the addition. The courts would occupy their permanent location awhile others may share space to accomodate the departments that will be located in the renovated building. The existing courthouse would be renovated upon completion the county departments could move into their permanent locations.

It is estimated the construction costs for this scope of work to be \$41,494,281. The "soft costs" are estimated to be \$4,012,542 bring this option to a total estimate of \$45,506,823.



Proposed addition and renovation to existing Moffat County Courthouse

II. EXECUTIVE SUMMARY

Moffat County Courthouse FEASIBILITY STUDY 13

Renovating the former Kmart building allows a more efficient department layout. A single point of public entry allows for security screening for the courts and would provide the option to screen all people entering the building if that is desired in the future. Ample parking is available on the existing site, allowing a portion of the existing parking lot for future pad site development.

The Kmart building allows all departments currently in the courthouse, along with departments currently located in other properties, to be in a single building. The approximately 93,000 square foot facility provides the required program spaces for all departments, needed program efficiencies, and meeting and storage areas. The layout also provides the needed security and public/staff separtion required in a modern courthouse.

Should the county move to the Kmart building it would open the existing building for future development for a significant land opportunity in the downtown area.

It is estimated the construction costs for this scope of work to be \$23,482,761. The "soft costs" are estimated to be \$1,798,793 bringing this option to a total estimate of \$25,281,554.

The Kmart option is the lesser total project costs and will be completed in a single phase. There will be no impact to the current operation of the departments with this option.



Proposed Kmart renovation

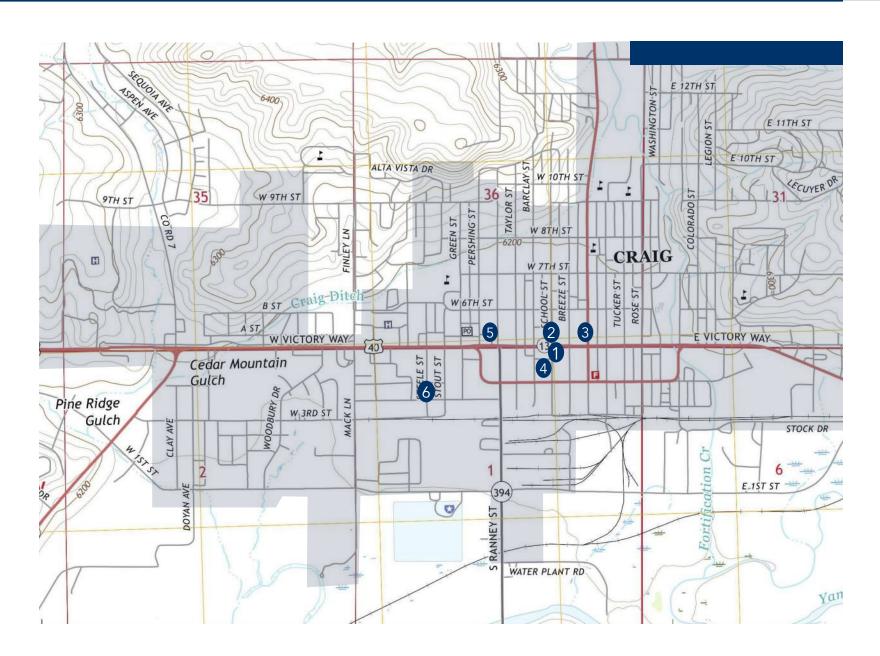


II. LOCATION OF FACILITIES

Moffat County Courthouse FEASIBILITY STUDY 15

LOCATION OF EXISTING FACILITIES

- Moffat County Courthouse
- 2 County Extension Office
- 3 Department of Human Services
- 4 Veterns Services
- 5 Public Health
- **6** Former Kmart Building



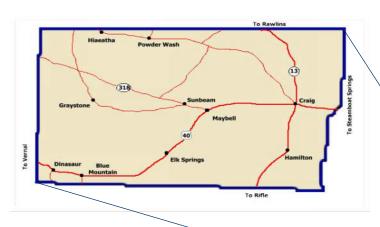
16 FEASIBILITY STUDY Moffat County Courthouse II. LOCATION OF FACILITIES

GEOGRAPHIC LANDMARKS

Moffat County is in the most northwestern corner of the state and is bound by Routt County to the East, Rio Blanco County to the south, state of Wyoming to the north and state of Utah to the west. The county has a total area of 4,751 square miles and is the second largest county in the state of Colorado. Craig is the county seat and most populous town in Moffat County with a population of 9,022 (Est 2019 Census).



Yampa River & Dinosaur National Monument





Browns Park National Wildlife Refuge



II. LOCATION OF FACILITIES Moffat County Courthouse FEASIBILITY STUDY 17

Major geographic landmarks in Moffat County include Cedar Mountain, the Yampa River, Trapper and Colowyo coal mines, and national protected areas. Cedar Mountain is part of the Elkhead Mountains which are the erosional remnants of a volcanic field located in Moffat and Routt Counties. The Cedar Mountain Special Recreation Management Area consists of 880 acres of public lands administered by the Department of the Interior, Bureau of Land Management. This horseshoe-shaped mountain stands 1,000 feet above the Yampa Valley. Because of Cedar Mountain's isolation from similar terrain, the rim provides a vantage point which offers a view of the surrounding countryside.

The Yampa River flows 250 miles through



Cedar Mountain

northwestern Colorado in the United States. Rising in the Rocky Mountains, it is a tributary of the Green River and a major part of the Colorado River system. The Yampa is one of the few free-flowing rivers in the western United States, with only a few small dams and diversions.

The Craig Power Station is Colorado's largest coal-fired electrical generating station. Operated by Tri-State Generation, the facility occupies a space of 1,120 acres and employs more than 300 people. Craig's primary coal sources are the Trapper and Colowyo mines, as well as other regional sources.

The Yampa River, along which the facility is situated, provides water for the turbines.



Trapper Coal Mine

Browns Park National Wildlife Refuge is located in the extreme northwestern corner of the state. in an isolated mountain valley of Browns Park. Established in 1965, the refuge is managed by the United States Fish and Wildlife Service office in Maybell, Colorado. The primary purpose of the refuge is to provide high quality nesting and migration habitat for the Great Basin Canada goose, ducks and other migratory birds. The refuge is home to approximately 200 species of birds at various times of the year. Dinosaur National Monument is located on the southeast flank of the Uinta Mountains on the border between Colorado and Utah at the confluence of the Green and Yampa Rivers. Most of the monument area is in Moffat County, Colorado. The park contains over 800 paleontological sites.



Medicine Bow-Routt

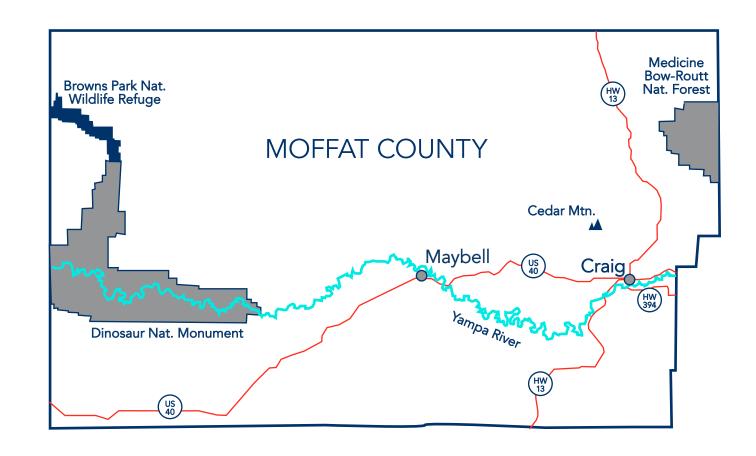
18 FEASIBILITY STUDY Moffat County Courthouse II. LOCATION OF FACILITIES

Medicine Bow-Routt National Forest is a U.S. Forest Service managed area extending over 2 million acres in the states of Wyoming and Colorado.

Yampa River State Park, a state park located along the Yampa River in Routt and Moffat Counties in northwestern Colorado in the United States, provides 13 access points for boaters along 134 miles of the Yampa Rive. Walkways and hiking trails explore the river's canyons and riparian zones, surrounding rock formations, and natural habitats.

Major transportation infrastructure and services in Craig include regional airports, and US and state highways. The Craig-Moffat County Airport is located approximately 4.5 miles southeast of Craig. Yampa Valley Airport, located east of Craig on U.S. 40, provides passenger jet airline service.

U.S. Highway 40 runs through Craig and is part of the system traveling from Silver Summit, Utah, to Atlantic City, New Jersey. It is a major eastwest route. At a length of over 2,000 miles, US 40 is the longest numbered route in the state.



II. LOCATION OF FACILITIES

Moffat County Courthouse FEASIBILITY STUDY 19

TRANSPORTATION AND SERVICES

State Highway 13 is a north–south state route that travels from Rife to the Wyoming border near Baggs, Wyoming, through the Rocky Mountains. State Highway 394 is a 9.4-mile-long state highway. Its western terminus is at U.S. Route 40 and SH 13 in Craig, and the eastern terminus is at the Moffat–Routt county line.

Major services in Craig include a Community College and a Regional Hospital. Colorado Northwestern Community College (CNCC) is a public 2-year community college, serving over 1,200 students with campuses in Craig and Rangely. It offers GED education, workforce training opportunities, Associates degrees, and Certificates.

Memorial Regional Health Hospital, located in Craig, includes a 25-bed hospital, multi-specialty medical clinic and a rehabilitation center, urgent care center, and pharmacy. The hospital employs over 350 people.



Denver and Salt Lake Railway



Memorial Regional Health

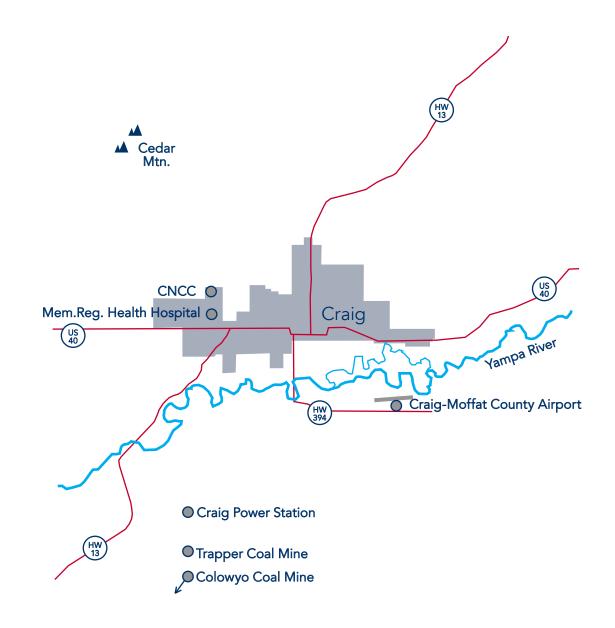
20 FEASIBILITY STUDY Moffat County Courthouse II. LOCATION OF FACILITIES



Craig-Moffat County Airport



Colorado Northwestern Community College



II. LOCATION OF FACILITIES

Moffat County Courthouse FEASIBILITY STUDY 21

ELEVATION AND CLIMATE TRENDS

Elevation Data:

Craig: 6,198 feet above sea level

Maybell: 5,922 feet above sea level

Moffat County's highest point: 10,865 feet

above sea level

Moffat County's lowest point: 4,993 feet above

sea level

Square Miles:

Craig: 5.1 square miles Maybell: 0.5 square miles

Climate:

Average days of sunshine: 242

Average annual snowfall: 74.8 inches

Summer:

A typical summer day is warm, dry, and mostly

clear

Winter:

A typical winter day is freezing temperatures,

snowy, and partly cloudy

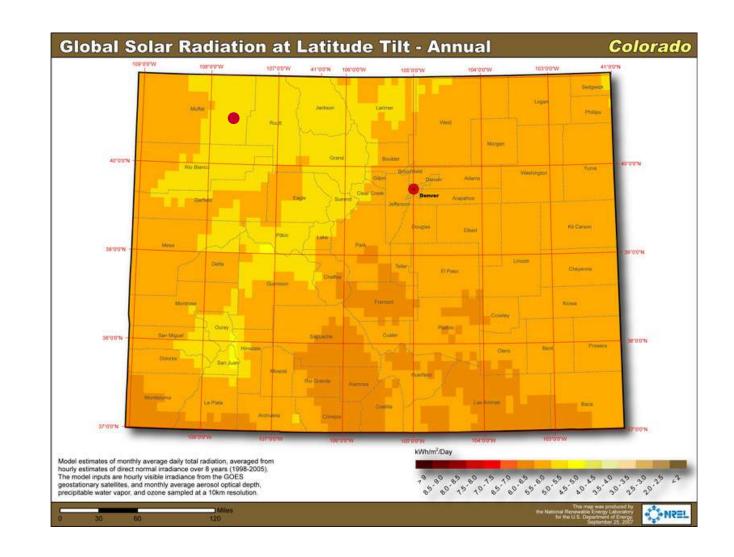
Temperatures:

Average January high temperature is 31° F Average January low temperature is 7.3° F Average July high temperature is 85.1° F Average July low temperature is 49.3° F 22 FEASIBILITY STUDY Moffat County Courthouse II. LOCATION OF FACILITIES

RENEWABLE ENERGY OPTIONS

Colorado is fortunate to have a climate that is conducive to many types of renewable energy sources and Moffat County School District would be potentially be able to benefit from these various renewables. Final selection of renewable options would be at the discretion of the District and the design team for future projects, but based upon initial evaluation of available data, there are several potential sources.

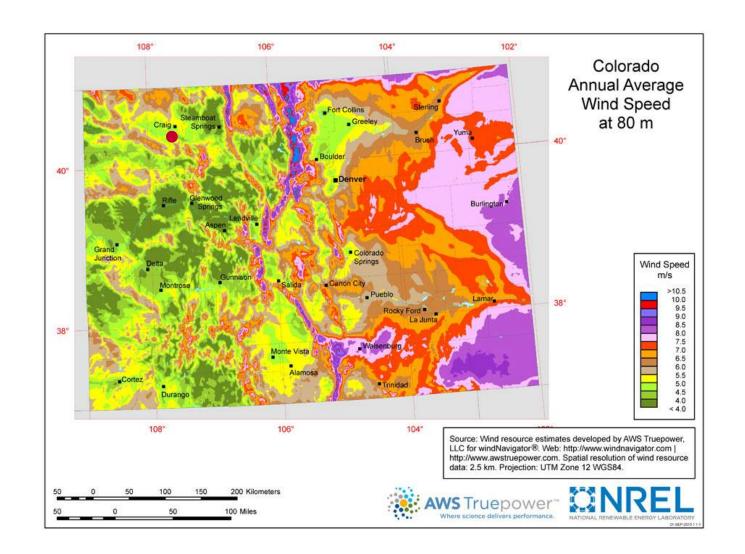
Solar Power – The majority of the Moffat County receives between 5.0-6.0 kwh/m2/day making it in one of the moderate locations in the state for solar power concentrations. This would initially indicate that solar power is a potential option for the county.



II. LOCATION OF FACILITIES Moffat County Courthouse FEASIBILITY STUDY 23

WIND

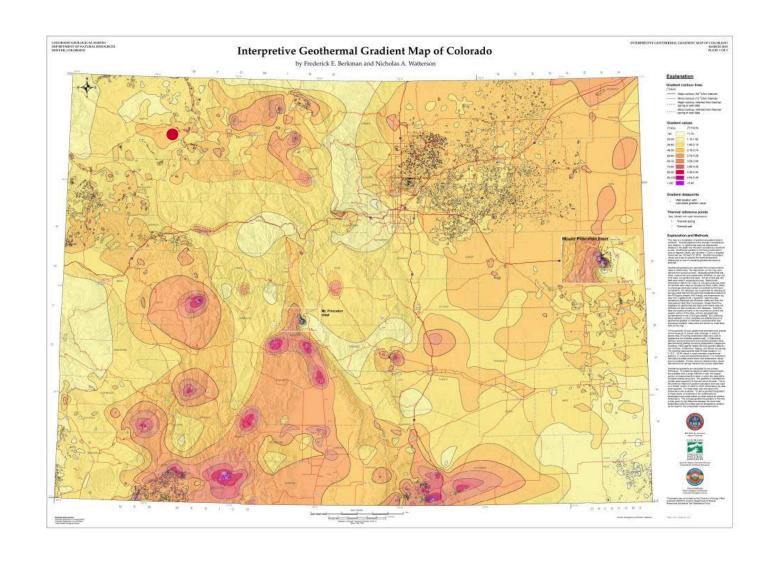
Within the Moffat County boundaries, the wind power class is rather low and the resource potential is poor. In small pockets of the northwest area of the district, the potential could be good to excellent, however these areas may not be large enough to support this renewable as a sustainable energy source.



24 FEASIBILITY STUDY Moffat County Courthouse II. LOCATION OF FACILITIES

GEOTHERMAL

The area of the state in which Moffat County is located seems to be determined as a Favorable to Most Favorable location for Deep Enhanced Geothermal Systems and therefore, this may be a renewable type that the district would want to investigate for the future.

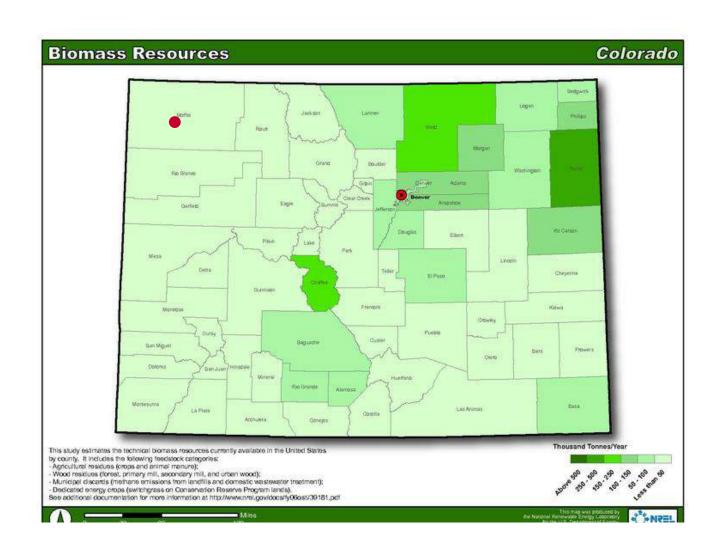


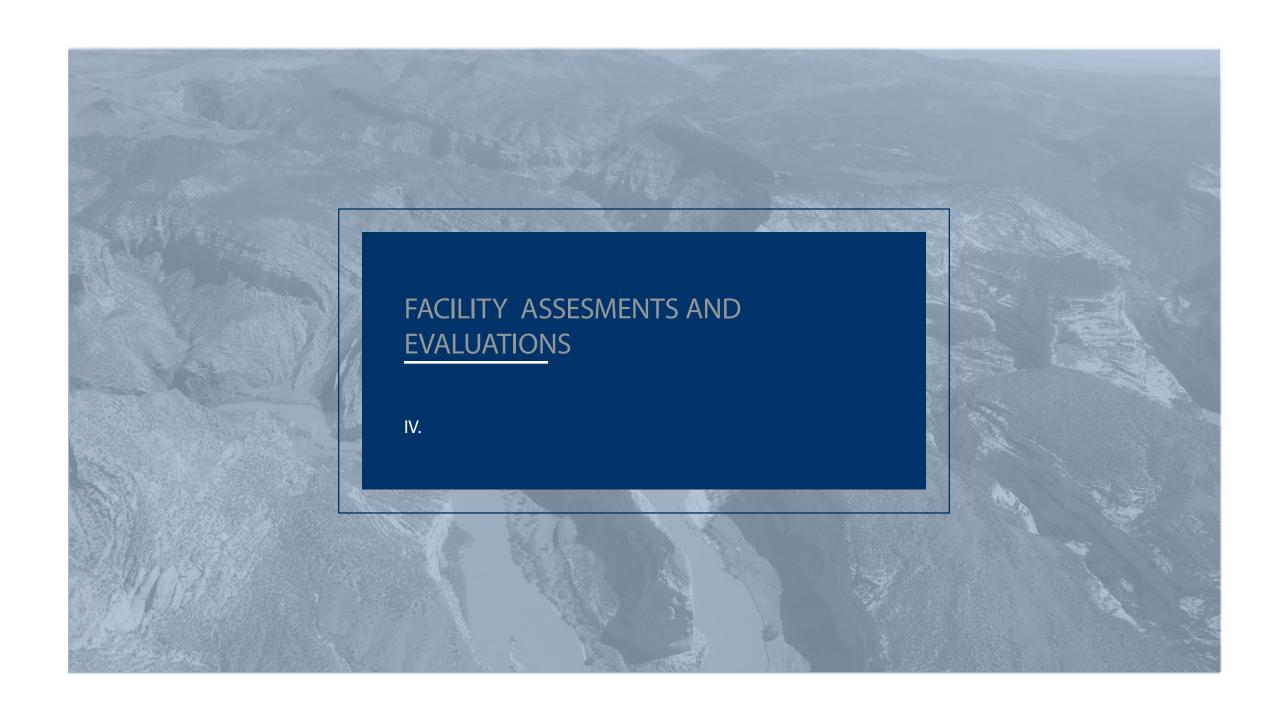
II. LOCATION OF FACILITIES

Moffat County Courthouse FEASIBILITY STUDY 2

BIOMASS

According to available information about biomass resources, Moffat County is in the Lower Range of tonnage available for the renewable resource.





26 FEASIBILITY STUDY Moffat County Courthouse IV. FACILITY EVALUATIONS

FACILITY ASSESSMENTS AND EVALUATIONS

Representatives from TreanorHL, JVA, and Cator Ruma toured the existing courthouse and former Kmart buildings and did a visual inspection of the buildings and systems. Following are the summaries of our observations and recommendations to renovate each building.



IV. FACILITY EVALUATIONS FEASIBILITY STUDY 27

EXISTING MOFFAT COUNTY COURTHOUSE

The existing courthouse, located at 221 W. Victory Way, Craig, Colorado, originally opened in 1917. The building was designed by architect W.N. Bowman. Bowman was a prolific architect in Colorado and served as the president of the Colorado chapter of the American Institute of Architects during 1917-1919. He was the architect of other county courthouses across the state and prominent buildings in Denver.

The three story 1917 stone building was designed in the classical revival style which was prevalent in the late 19th and early 20th century. The original courthouse had a portico with six stone columns.

The building was remodeled in 1932 and underwent an expansion in 1962. This renovation and addition transformed the building as the addition wrapped three sides of the original building. Designed by Nixon & Jones & Associates, known for their modern architecture and use of metal panels, the building transformed into a modernistic courthouse.



1917 Moffat County Courthouse



1962 Courthouse Expansion



1962 Courthouse Expansion



1932 Moffat County Courthouse

28 FEASIBILITY STUDY Moffat County Courthouse IV. FACILITY EVALUATIONS

SITE

The courthouse site consists of four parcels on the main site and two parcels to the east of the main site. The county extension office is directly north of the courthouse along with a parking lot. The site to the east is a county parking lot.

The existing facility is served by School Street to the east, Barclay Street to the west and an access drive from W. Victory Way (US Hwy 40) to the south. On-street parking is provided on School Street and Barclay Street with on-site surface parking to the north and an ancillary surface parking lot to the east of School Street. The existing asphalt parking areas are in poor/failed condition with excessive longitudinal and traverse cracking and are expected to be removed and replaced. ADA pedestrian accessibility is from the on-street parking from School Street however is out of compliance due to steeper than allowable gradients. There are several

existing pedestrian walks and plaza areas that are expected to be removed and replaced due to tripping hazards and adverse grading against the building.

There are several areas surrounding the building that have negative grades that should be mitigated, however no drainage issues at the building interface were reported or observed. There is an existing sanitary collection main running under the building from north to south and water service from the north, both of unknown size and capacity with services that are expected to be removed and replaced if additional plumbing fixtures or fire sprinklers are anticipated and the addition will require service extension. Existing fire hydrant spacing is assumed to be adequate. There is no known storm drainage infrastructure on the existing site with surface drainage being conveyed generally radially away from the site. Existing zoning is sufficient to allow the intended use and expansions.



IV. FACILITY EVALUATIONS FEASIBILITY STUDY 29

BUILDING

The existing building is four stories. Level one is a garden level. There are five entry points to the building; all open to the public that enter at grade between Level 1 and Level 2. Two entries provide accessible entry into the building; one into the east stair tower and one into the west stair tower, have ramps down to Level 1. The other entries all require going up or down stairs to access the building. Once inside the building, wayfinding is accomplished by directory signs at each floor, but these are only found in the south public corridor.

Level 1 houses Natural Resources and the Board of Commissioners offices, County Attorney, Finance, HR, IT, Youth Services, DA archive storage, Facilities, the shared copy room, and the old jail area that is used as storage.

Level 2 houses the Treasurer, Assessor, Development Services, a shared large conference room, Clerk and Recorder, Elections, the Commission chambers, a shared plotter room, and two offices used by the DA.

Level 3 houses the DA, Probation, Court Clerk, three Courtrooms, Judge's chambers, and a Jury room. Level 4 is part of the original 1917 building and has not been occupied for many years. A portion of the floor has been removed to raise the ceiling in one of the courtrooms. Some areas are used for long term storage.

Security is only provided on Level 3 and the security station is set up at the top of the open stair in the original part of the building. A significant back up occurs when more than a few individuals are being screened. The space for the security station is extremely tight and inefficient to screen people quickly. A separate metal detector is set up at the elevator, requiring the security guard to leave their post anytime the public uses the elevator.



Existing Level 3



STAR OFFICE STYLE OFFICE OFFIC

Existing Level 1

30 FEASIBILITY STUDY Moffat County Courthouse IV. FACILITY EVALUATIONS

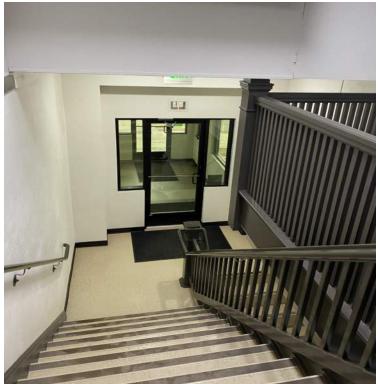
ADA accessibility, as noted, is provided at two of the entries by ramps to Level 1. An elevator in the 1962 addition provides access to Levels 2 and 3. The public restrooms on Level 1 appear to be ADA compliant. However, the public restrooms on the other levels do not appear to be fully compliant. A majority of the doors throughout the building also do not provide the required clearances and the sliding glass entry doors used through the 1962 addition to the departments also is not ADA compliant.

Limited existing drawings are available for the existing building, but it appears the 1962 exterior wall construction is a combination of concrete masonry unit (CMU) or brick with face brick, stucco, and metal panel cladding. Metal stud framing may have been used above and below windows with stucco cladding. It appears there is limited to no insulation in the exterior walls. The north wall of the 1917 addition is still an exterior wall and is an 18" load bearing stone wall. The windows throughout the building are non-thermally broken frames with double pane glazing. The existing roof is a PVC membrane roof that was completed in three

sections in 2006, 2007, and 2010. The building envelope does not meet current energy code requirements.

If the building were to be renovated, it would require replacing all windows and entry doors with a thermally broken aluminum storefront system with 1" high performance insulated glazing, replacing the roof with a new TPO membrane roof and replacing the roof flashing with painted aluminum flashing, tuckpointing the brick as needed, and repairing miscellaneous flashing as needed.





IV. FACILITY EVALUATIONS

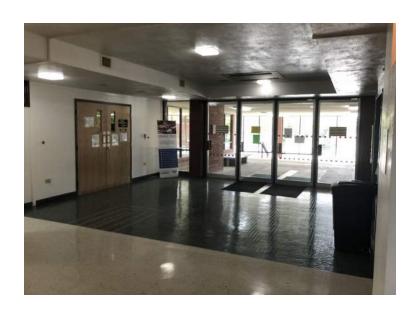
Moffat County Courthouse FEASIBILITY STUDY

Interior finishes vary throughout the building. Most office areas have carpet, rubber base, painted walls, and acoustical panel ceilings. In some areas the finishes look to be recently replaced while other areas have worn carpet and walls that need to be repainted. Interior, non-load-bearing partition walls vary in their construction as well. Some appear to be metal stud walls with gypsum board while others have peg board or appear to be a type of panelized system.

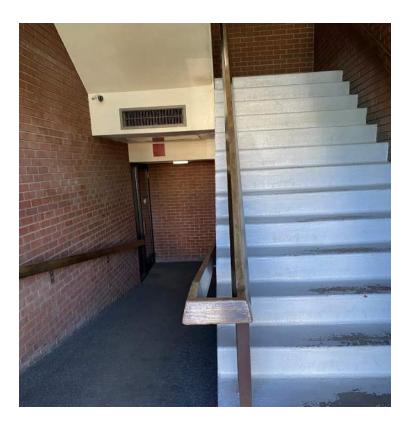
The courtrooms and Commission chambers have carpet flooring, painted walls with some wood paneling and acoustical panel ceilings except the District Courtroom which has hard painted ceilings. Public corridors have carpet, VCT, or tile flooring. Walls finishes in the public corridors are a combination of painted walls and brick with either acoustical panel ceiling or painted gyp board ceilings.

Any renovation would include new interior finishes on the wall, floor, and ceiling. Exterior walls would require insulation and furring with gypsum board. new interior walls would be metal stud with gypsum board.

31







32 FEASIBILITY STUDY Moffat County Courthouse IV. FACILITY EVALUATIONS

STRUCTURE

The existing building was constructed in two eras. The initial construction was in 1917. This section has 4 levels and is rectangular in shape (approximately 57'-4" N-S x 75'-4" E-W). The structure consists of load bearing masonry walls at the perimeter and at interior locations. The building has a spread footing system. The wall thicknesses range from 12" to 20", made up of multi-wythe brick at the interior, and a combination of brick and stone at the exterior.

The lowest level (Basement) has a slab on grade. The first or main level of the building has a combination of cast-in-place concrete floors and wood framed floors. The second and third floors are wood framed. The portion of the 3rd level over the west courtroom in the 1917 building was remodeled and reinforced, reportedly during the 1962 construction.

The building has a wood framed roof system. A partial set, of water stained blueprints is available for the original 1917 building.

The second construction era occurred in 1962. A partial set of construction drawings for the 1962 addition is available. This element has three levels, matching the basement, first and second levels of the 1917 construction. The 1962 construction is "C" shaped wrapping the 1917 building on the west, north and east sides. This element has a steel framed superstructure, with cast-in-place, mildly reinforced concrete slabs at the supported floors.



The exterior treatment is a combination of brick veneer and storefront window systems. The main entry into the facility is on the south side of the 1962 building, where steps on both the west and east sides provide access to a covered, unheated plaza at the first floor. The existing drawings for this portion of the building show column spacing ranging from 10' to 16' in the east-west direction, and from 10'-6" to 16' in the north-south direction. It appears that lateral load resistance is provided by shear walls at the stairs and the elevator shaft. We also observed some eccentric braces at the steel framing in one location. The steel columns are setback from the 1917 construction roughly 10', and the steel beams supporting the floor slabs and roof framing, cantilever out to meet the 1917 building. The 1917 structure appears to be in reasonably good condition. We did not observe any indication of significant movement or settlement reflected in the relatively rigid masonry bearing/ shear walls. Similarly, the floors appeared to be in good condition, we did not observe sagging, or differential displacement that might suggest structural movement.

IV. FACILITY EVALUATIONS FEASIBILITY STUDY 33

The 3rd level wood framed floor system and stairs to this level did creak when used. We observed both stacked rubble and board formed cast-in-place concrete foundation walls at the lower level. The existing drawings did not include material strengths or design loads.

The 1917 masonry bearing/shear walls are relatively thick and the framed floor areas are relatively small. With the limited information regarding the existing structural element capacities, and structural element configuration associated with buildings of this type built in this era, we anticipate that a major renovation program including MEP system upgrades would be complicated and possibly expensive.

Depending on the remodel program, significant testing of the existing materials may be required, and a new analysis of the lateral and gravity load resisting system relative to current code requirements may be triggered by the IEBC. This review may require reinforcing of both lateral and gravity load resisting systems in the 1917 building.

The 1962 building structure also appeared to be in reasonably good condition. Where visible at the space above the 2nd level ceiling, and below the supported first and second floors, the concrete and steel all appear to be in good condition. We did not observe any signs of material degradation, structural movement, or corrosion associated with leaks.

At one location on the 2nd floor, in the east-west corridor adjacent to the 1917 building, just east of the entry to the 1917 building, there is a small area of floor that noticeably sags and shakes when a person jumps on it. We observed the slab soffit below this area and did not see any signs of distress.

The columns are relatively closely spaced in this building. For the 1962 era building, material strengths and design loads could be determined based on building codes from that era and material sampling. A partial set of construction drawings for this building were observed on-site, but we did not see any structural drawings. The exterior of the building also appeared to be in relatively good

(cont. next page)



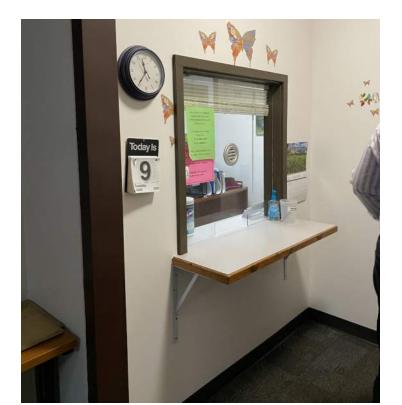
34 FEASIBILITY STUDY Moffat County Courthouse IV. FACILITY EVALUATIONS

condition. We did not see evidence of significant structural movement reflected in the brick veneer or windows. We did see some evidence of weathering at the two stairs that serve the entry plaza.

The building would be easier to work with in a major renovation program, relative to the 1917 building. Consideration should be given to evaluation of the gravity and lateral design loads relative to changes in the Building Code since this building was constructed. Similar to the 1917 building, a major renovation may trigger provisions of the IEBC requiring review of the existing building subject to current code design loads.

With respect to the relatively close column spacing, moving columns to create larger clear spaces will impact the gravity and lateral load carrying elements and likely be complicated and expensive.

We recommend considering the following systems for the new addition.



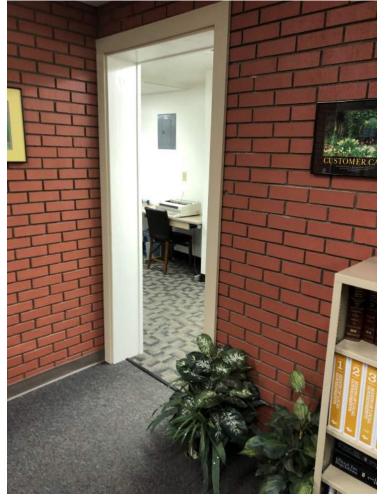


IV. FACILITY EVALUATIONS FEASIBILITY STUDY 35

A steel framed superstructure to resist gravity loads, with 10" thick concrete core wall elements with 6 psf of reinforcing at the stair and elevator shafts for lateral load resistance. Consider column spacing of 32' o.c. in each direction and floor beams spaced at 8' o.c. typical. Steel framing will be approximately 12 psf for the supported floors and roof. The supported floors will use 2VLI20 composite steel deck with 4 ½" of 3,500 psi normal weight, concrete fill and 6 x 6 W2.9 x W2.9 WWF (6 ½" total thickness). Roof deck will be 3N19 supported on steel beams at 8' o.c.

For now, we recommend considering a spread footing system with allowable soil bearing pressure of 3,000 psf. Typical interior footings may be 14' x 14' x 2' with 8 psf of reinforcing. Perimeter column foundations will be 10' x 10' x 1'-8" thick with similar reinforcing. The perimeter foundation wall will be 15" thick with 4 psf of reinforcing to support a brick veneer over 6" steel studs (600S162-54 at 16" o.c. typ.). The strip footing below the typical foundation wall will be 2' x 1' with 4 psf of reinforcing. The slab-on-grade will be 5" thick, 3,000 psi, with #4 bars at 16" o.c. each way.





HEATING, VENTILATING, AND AIR CONDITIONING (HVAC)

Building heat is provided by a modular natural gas hot water boiler plant located in the basement of the 1962 addition. The modules are of the condensing variety and include stainless steel heat exchangers with power burners. The boiler plant consists of four (4) modules each rated at 399 MBh (input), 379 MBh (output), with a gross plant output rating of 1,516 MBh. One of the modules is not currently operational and requires replacement. Combustion air is ducted directly to each boiler. Nameplate data indicates the units were manufactured in 2012. Two base-mounted circulation pumps distribute heating water to air handling units, fan coil units and unit heaters via a combination of steel and copper piping, dictated upon piping size.

An additional heating water system serving the original building is located in the mechanical room of the original building. The heating water system consists of a single boiler module (similar to those installed in the 1963 addition), in-line recirculation pumps, expansion tank and appurtenances. Heating water is distributed to an air handling unit and terminal units associated with the original building.

The facility is served by six multizone air handling units and two rooftop units. AHU-1, 2 and 3 are located in first floor mechanical rooms and are rated at 6,574 cfm, 5,460 cfm and 7,363 cfm respectively; AHU-4 and 5 are located second floor mechanical rooms and are rated at 6,280 cfm and 6,515 cfm. No performance data was available for AHU-6. The air handling units were installed in approx. 1963 based upon product data received from the manufacturer (which again would correspond to the original construction of the facility) placing the service life of the air handling units at 57 years.





The AHU's are equipped with variable frequency drives (VFD) and operate as constant volume. During the site review it was observed that the output of AHU-1 varied between 60% and 100%, however no input signal to the VFD is known to exist that would result in this change. The units consist of a mixing section, filter section, heating coil section, chilled water coil section, fan section and zone damper section. A brazed-plate heat exchanger and coil pump is installed in conjunction with each of the heating water coils for freeze protection. Per Facilities Personnel the air handling units were refurbished in 2012 in conjunction with mechanical infrastructure upgrades.

The air handling unit refurbishment consisted primarily of controls upgrades, addition of VFD, replacement of fan motors, bearing replacement and surface cleaning of coils.

The two rooftop units serve the Courtrooms located on the third floor of the facility. The rooftop units were manufactured in 2012 and have a nominal cooling rating of 5 tons. The rooftop units are also equipped with a gas furnace section with an input rating of 130 MBh.

A 14 MBh DX fan coil unit serving the central office area in the basement is installed within the elevator machine room. Per ANSI A17.1 only machinery and equipment used in conjunction with the function or use of the elevator shall be permitted in the elevator machine room. The fan coil unit, associated ductwork, refrigerant and condensate piping shall be removed and reinstalled above the ceiling of the adjacent office space or within a new fan room if preferable.

No Testing, Adjusting and Balancing (TAB) report was available for the facility and therefore the actual performance of the equipment and the quantity of ventilation air introduced to the spaces is not known. Prior to 1973, the established ventilation rate was 10 cfm per person. The current design standard for an office occupancy is based on a ventilation rate of 5 cfm per person and 0.06 cfm per square foot. The completion of a TAB report for the facility should be utilized to demonstrate the performance of the HVAC system components and confirm that Code required ventilation rates are provided.





An air-cooled chiller provides chilled water to the facility. The unit was installed in 2017. Two base-mounted circulation pumps distribute chilled water to air handling units via a combination of steel and copper piping. Variable frequency drives provide control of the chilled water pumps, however based upon the use of three-way control valves throughout the facility, the pumps likely function as constant volume only. Relocation of the chiller to beyond the footprint of the proposed addition and the extension of the chilled water piping will be required based on the current concept.

Cooling is provided to the IT and select office spaces by direct expansion (DX), ductless split systems. Louvered face supply diffusers and perforated return grilles are typically utilized within the administration office areas.

Temperature controls are direct digital control (DDC) devices most of which installed as a retrofit project in 2013. The DDC system is manufactured by Distech. Installation of VFD's, damper actuators, control valve actuators and temperature sensors were included with the retrofit project. It was also

indicated that the control of select terminal units (e.g. finned tube radiation) were not migrated to the DDC system, with only operable manually available.

Facilities personnel indicated that the installer of the system (ESCO – Mountain) is no longer in business and therefore technical support is not readily available. Discussions between Cator, Ruma and Associates and the manufacturer indicate that the control system is still a supported platform. Facilities personnel do not possess any documentation of the control system and as of the date of this report Cator, Ruma and Associates was unsuccessful in securing any archival documentation from the local Distech representative. The Distech represent did indicate that the system information could be downloaded if an outside IP port were opened by the Moffat County IT group.

Recommissioning of the system should be undertaken to determine the functionality of the DDC system and to export control sequences for use by Facilities personnel.

An expansion of the controls system will be required to accommodate the installation of the terminal boxes/reheat coils associated with the VAV system in the renovated areas and for the construction of the addition.



IV. FACILITY EVALUATIONS

Moffat County Courthouse FEASIBILITY STUDY

Per ASHRAE (American Society of Heating, Refrigeration and Air Conditioning Engineers) 2019 HVAC Applications Handbook the median life cycle of the mechanical equipment/components are as noted below:

A. Air Handling Units

1. Fans – centrifugal: 25 years

2. Coils - hydronic, direct expansion: 20 years

3. Electric motors: 18 years

4. Dampers: 20 years

B. Controls - electronic: 15 years

C. Boilers, hot water – steel fire-tube: 24 years

D. Packaged chillers – reciprocating: 30 years

E. Pumps – pipe mounted (base-mounted): 20 years

F. Roof-top air conditioners – single zone: 15

G. Fans – centrifugal: 25 years

H. Ductwork: 30 years

I. Air Terminals – Diffusers, grilles and registers: 27 years

Based upon the median service life (equipment survival rate remains at or above 50%), failure of the primary components of the air handling units as noted above could be anticipated to occur in the near term. Additionally, it should be noted that the performance of the air handling units may be significantly diminished due to fouling of both the air-side and water-side heat exchange surfaces, resulting in inadequate heating and cooling of spaces.



39



The current version of the International Existing Building Code (i.e. Chapter 9: Alterations - Level 3) requires system alterations to conform to the International Energy Conservation Code (IECC) when the renovation involves 50% or more of the aggregate area of the building. Consequently, the IECC requires HVAC systems that serve multiple zones to be variable air volume (VAV) systems. The concept plans indicate significant modification of the floor plans; therefore, the cost of replacement of the air handling units should be included in the project budget. It is assumed that the replacement units would also be located in the current mechanical spaces, with the exception of AHU-6. The mechanical room associated with AHU-6 will be eliminated based on the concept floor plans. The spaces currently served by AHU-6 will be assumed by the remaining air handling units.

New VAV air handling units consisting of a mixing section, filter section, heating coil section, chilled water coil section and fan section would be provided. A new air distribution system consisting of medium-pressure ductwork, single zone terminal boxes with hot water reheat coils and low-pressure

ductwork will be utilized to serve the existing facility.

It is anticipated that a packaged VAV DX rooftop unit with a gas furnace section would be the design basis to serve the new addition. The unit would be provided with the following components and construction:

- Roof curb and 4" concrete equipment pad
- Solid double-wall construction
- Supply and return fan with VFD, premium efficiency motors
- Filter bank with MERV 8 Pre-filters; MERV 13 final filters
- Direct expansion (DX) cooling with high efficiency compressors with the capability for cooling modulation; hot gas bypass will not be utilized
- Gas furnace section with high turndown capability
- Minimum outside air damper section
- Economizer section with fault detection

Per Facilities personnel, the boiler plant has significant reserve capacity. It is recommended that the boiler plant be utilized to serve hot water reheat coils associated with the VAV terminal boxes to be installed within renovated areas of the current facility and in the new addition. The gas furnace section of the rooftop unit for the addition would be used for pre-heat function with the unit discharge air temperature reset to reduce the amount of reheat required.



FI FCTRICAL

An existing pad mounted, utility company owner transformer is located near the Northwest corner of the building, providing 120/208-volt, 3-phase, 4-wire electrical service to the building. The existing service entrance feeder is routed underground from the utility transformer to the main distribution center located in the main electric/mechanical room in the basement. The existing main distribution center serves branch circuit panelboards and distribution boards located throughout the building. The existing utility company transformer appears to be located in an area that would be engulfed by the proposed building addition and thus will not be able to remain in the existing location.

The existing electrical distribution system appears to have been installed with the original building construction in approximately 1962. The existing 120/208-volt, 3-phase, 4-wire, 1200-amp main electrical distribution equipment appears to have reached the end of its useful life and appears to be undersized for the expanded building use.

Existing branch circuit panelboards located on the basement level appear to have been installed with the original building construction. Some of the existing branch circuit panelboards distributed throughout the building appear to have been replaced more recently with smaller load center type units. Branch circuit panelboards are located on some walls that that would be demolished.

Due to the age and rating of the existing equipment, replacement of the existing electrical distribution equipment is anticipated. Existing lighting and lighting control devices will be disconnected and removed throughout the building. Existing general power devices will be disconnected and removed where located on walls scheduled for demolition. Existing general power devices located on walls that will remain, such as exterior walls, will be replaced with new branch circuit conductors being provided to each.

The building does not appear to be equipped with an analog or addressable fire alarm system.



ELECTRICAL DISTRIBUTION

To meet current requirements of the National Electrical Code (NEC), a dedicated electrical room will need to be established to contain a new main distribution center and other electrical distribution equipment.

A new 277/480-volt, 3-phase, 4-wire, 2500-amp main distribution switchboard (MDC) with ground fault main circuit breaker and surge protection device is anticipated to be provided within the a new main electric room. New 2500-amp rated service entrance feeders will be routed underground from the MDC to the pad mounted utility transformer. Per NEC requirements, an alternate maintenance switch (AMS) will be required to temporarily reduce the short-time delay settings of the switchboard circuit breakers and illuminate an indicator light when the AMS is set in the "maintenance mode."

Branch electrical rooms will be required on level 2 and 3 of the existing Courthouse building. Additionally, branch electrical rooms will be required on each level of the building addition.

New branch circuit panelboards will be contained within the main electrical room and the branch electrical room to serve lighting, general power and equipment loads. Exact location and quantity of panelboards will be determined as the design progresses. A minimum of (1) 277/480-volt, 3-phase panelboard will be located in the main electric room and each branch electrical room to serve interior and exterior lighting loads.

Step-down transformers and 120/208-volt, 3-phase, 4-wire panelboards will be located in the main electrical room and each branch electrical room to serve general power and equipment loads. Dedicated 277/480-volt, 3-phase, 4-wire and 120/208-volt, 3-phase, 4-wire branch circuit panelboards and associated step-down transformers will be provided in the main electrical room and branch electrical room to

serve mechanical equipment loads located on the roof and throughout the building.

Branch circuit panelboards, sub-distribution boards and the main distribution switchboard will have copper bus bars. All circuit breakers will be boltin type. These may be plug-in type provided they have positive locking mechanisms. All lighting and power panelboards will be door-in-door type construction and provided with a minimum of 30% spare circuit breaker capacity

A main ground copper ground bar will be provided in the main electric room. Ground bars will be provided in each each electrical room and MDF/IDF room with ground conductor connections being provided back to the main ground bar. Ground connections will be provided from the main ground bar to building steel, cold water service, and driven ground rods, etc. as required by the NEC. All ground connections shall be made at each ground bar using 2-bolt mechanical lugs.

EMERGENCY FLECTRICAL DISTRIBUTION

An approximate 200kW (rated at site elevation), 277/480-volt, 3-phase, 4-wire standby diesel generator is anticipated to be provided near the Southwest corner of the building to serve emergency and standby loads. The generator will be equipped with a weatherproof, 75dba sound attenuated enclosure (Tier 2) and critical exhaust silencers. Additionally, fuel storage will be provided in a skid mounted UL 142 double wall tank to provide for a minimum twenty-four (24) hours of continuous operation under full load conditions. The generator will be capable of being on-line and providing power within 10 seconds. The size of the generator will be confirmed during the following design stages when additional load information becomes known.

A combination load bank/generator docking station with a lug connection cabinet and controls cabinet

will be located near the generator location to provide for temporary portable load bank and generator connections. This will allow for a truck mounted load bank or generator to be connected to the building system for maintenance of the main generator and for backup of the emergency system when necessary. Connections to the generator distribution board from the tap box will be provided.

A dedicated emergency electrical room will be established to contain emergency distribution equipment.

The generator distribution switchboard will be rated at 400A – 480/277V with a 400A main circuit breaker. Circuit breaker types will be molded-case for the main breaker and molded case, adjustable trip electronic type on the feeder circuit breakers. Feeder circuit breakers will be provided to feed each automatic transfer switches for the emergency and standby systems.

Separate automatic transfer switches (ATS) will be provided for the emergency and stand-by branches and will be located in the new emergency electric room per Code. Emergency and standby branch circuit panelboards will be located in emergency electrical room and branch electrical room serve emergency lighting, fire alarm system, communications equipment, and minimal building HVAC components.

The circuit breakers serving the emergency system will be selectively coordinated. Legally required and optional systems will be in separate vertical switchboard sections of the generator distribution switchboard.



LIGHTING

New interior lighting will consist of luminaires with integral LED sources. Luminaires will be specified with 0-10 volt electronic dimming drivers with the capability to dim to 1% output, 4000-degree Kelvin correct color temperature (CCT), minimum 85 color rendering index (CRI).

The interior lighting system design and luminaire selection for each space will be dependent upon design of ceilings and finishes within each individual space. The basis of design for the lighting system within some typical space types is as follows. The lighting system design will be refined and coordinated with the Architect as the design progresses into the next stage.

Circulation and Public Corridors: Recessed, 2x4 LED troffers and/or narrow aperture, recessed linear LED luminaires, varying in lengths from 4-ft to 8-ft. Restrooms: Recessed, linear LED luminaires above the lavatories and restroom fixtures with recessed downlights in the circulation space.

Utility Rooms (Mechanical, Electrical, Technology, Janitor, Storage, Shop Areas, etc.): Chain mounted or surface mounted LED strip luminaires.

Private Offices: Narrow aperture recessed linear LED luminaires or suspended direct/indirect luminaires.

Open Offices and Group Work Rooms: Narrow aperture recessed linear LED luminaires or suspended direct/indirect luminaires.

Conference and Meeting Rooms: Narrow aperture recessed linear LED luminaires or suspended direct/indirect luminaires.

The existing parking lot lighting will be disconnected and removed. New pole mounted LED sources will be provided to illuminate any new parking areas. New parking lot lighting branch circuits will be routed below grade.

Existing exterior building mounted luminaires will be disconnected and removed around the perimeter of the existing Courthouse building. New building mounted LED luminaires will be provided as required at building egress locations and to provide safety and security lighting around the perimeter of the building.

The exterior lighting system will be designed to meet Moffat County and Town of Craig requirements with regard to CCT, CRI, light levels, etc. All exterior luminaires will be "dark skies" compliant.



LIGHTING CONTROLS

A new, digital, low-voltage lighting control system will be provided throughout the building to meet the requirement of the 2018 International Energy Conservation Code (IECC).

The lighting control system head-end equipment will be located in the main electric room.

Low-voltage devices consisting of on/off switches, dimmer switches, occupancy/vacancy sensors, daylight harvesting photocells, etc. will be located throughout the building to provide automatic controls per the IECC. Exterior lighting will be controlled by the lighting control system based on input from the integral astronomic timeclock and input from an exterior rated photocell.

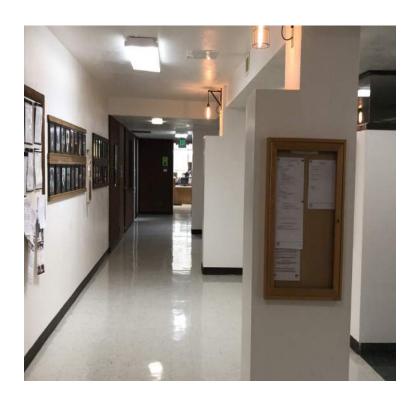
GENERAL POWER

Each private office will be equipped with a minimum of (4) duplex receptacles.

Conference rooms and meeting rooms will be equipped with duplex receptacles around the perimeter walls and floor devices as required to conform to the requirements of 2020 NEC 210.65. Additionally, power connections will be provided in conference rooms to support any audio/visual equipment.

Power will be provided in each location as necessary for ceiling mounted projectors, projection screens, wall mounted digital displays, audio/visual equipment, etc.

Duplex receptacles will be provided throughout the building for general convenience power in corridors, lobbies, mechanical rooms, electrical rooms, janitor closets, restrooms, elevator machine rooms and other similar spaces. Additional devices and circuits will be provided as required for electric water coolers, copy machines, refrigerators, coffee makers, dishwashers, garbage disposals, microwaves and other owner furnished equipment.



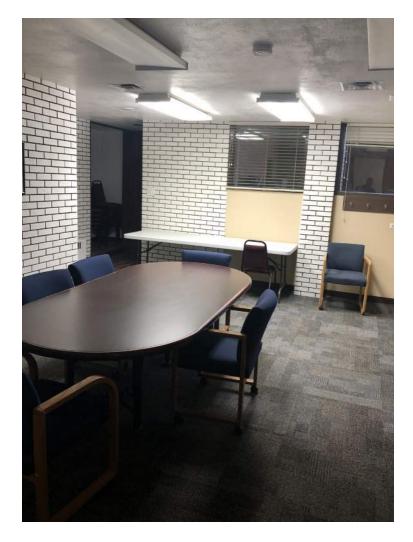
The telecommunication rooms(s) will be equipped with one general convenience receptacle and additional power connections and specialty receptacles as necessary for equipment racks, access control equipment, etc. One (1) NEMA 6-30 receptacle will be required in each telecommunication room.



Power will be provided for building mechanical equipment and other equipment as required.

Exterior receptacles shall be GFI type and provided with in-use type weatherproof covers. Receptacles will be located near each building entrance, near the loading dock and the utility service yard.

EMT conduit shall be used throughout the building for electrical feeders, electrical branch circuits, low voltage systems, etc. EMT conduit smaller than ¾" will not be allowed.



FIRF AI ARM

The fire alarm system in this building is anticipated to be a digital, voice evacuation type system. The system will be capable of monitoring the sensitivity and calibration of each detection device and reporting alarms by an alpha-numeric display and on a remote printer. Each detection device and manual pull station will be addressable and report to the control panel as an individual device. Addressable interface models will be used to connect the sprinkler system flow and tamper devices to the system.

A graphic map will be located in the main building lobby or designated fire fighter's response location. This annunciator will indicate by LED which device is in alarm and if there is trouble on the system.

Manual Stations: Double action pull stations will be located at each exit door and where required to meet the travel distance limitations per NFPA.

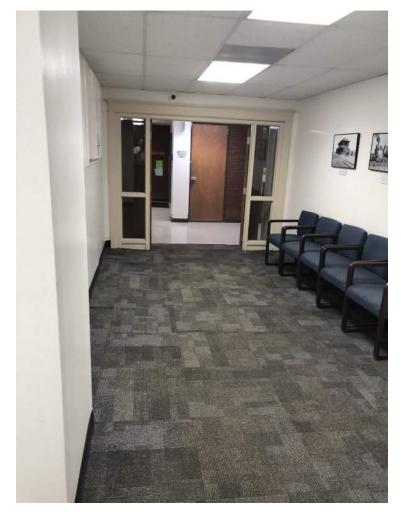
Photoelectric Smoke Detectors: In all electrical and telephone closets, main electrical room, emergency electrical room, and other spaces as required by Code. Thermal detectors to be provided in janitor closets and mechanical rooms.

Duct Detectors: In all supply and return ducts required by code.

Audible and Visual Notification Devices: Audible and visual notification devices will be located throughout the building as required to comply with current codes and ADA Standards. Notification devices shall be wall or ceiling mounted, white with red "ALERT" marking.

Remote Test Stations: Remote test stations shall be the magnetic type as required by CSU Standards.

Fire Alarm Cabling: All fire alarm system cabling shall be routed in pre-finished "red" EMT conduit.



PLUMBING

Plumbing piping (domestic hot water, cold water, waste and vent piping) and fixtures are per original building construction with only minor modifications undertaken. A 3" domestic water service entrance is located in the basement room and is equipped with a pressure reducing valve and reduced pressure backflow preventer. Plumbing fixtures installed in conjunction with construction of the 1963 addition would not meet the water flow rate limitations as dictated by EPA WaterSense. Replacement of the plumbing fixtures should be included in project budgeting.

Natural gas service enters on the north side of the facility and serves heating boilers, water heaters and rooftop units. Relocation of the gas service entrance equipment to beyond the footprint of the proposed addition and the extension of the natural gas piping will be required based on the current concept.

Domestic hot water serving the fixtures installed within the 1963 addition is generated via a 40-gallon, indirect water heater (heating provided from boiler plant thru heat exchanger) rated at 115 MBh. The water heater was installed in 2012.

Two mini-tank type (2.7 gallon) water heaters are utilized to provide domestic hot water to the fixtures within the original building. These units are installed in the boiler room of the original building. The water heaters were manufactured in 2012. The tank of these units is warranted for 6 years against leakage, with remaining components warranted for 2 years.

Primary storm drainage is provided by interior drains. The drains appear to consist of piping terminated at the roof deck with the roofing membrane adhered. Per the International Plumbing Code (IPC) 1105.1: inside of the roof drain shall not be obstructed by roofing membrane material. Additionally, IPC 1102.6 requires roof drains to conform to ASME A112.6.4 which identifies the materials of construction. The installation as described above does not comply with either Code section. The installation of manufactured roof drains (sump body, with flashing flange and dome strainer) should be planned.



IV. FACILITY EVALUATIONS

Moffat County Courthouse FEASIBILITY STUDY

Prior repairs of the sanitary sewer system completed by Facilities personnel revealed that the piping had deteriorated (corrosion through the top of piping) and could be indicative of a systemic issue, given the age of the piping.

A video inspection of the sanitary sewer system at the facility should be utilized to identify the overall condition of the system. Selective sampling of the piping is also recommended for the purpose of confirming wall thickness. Replacement of the complete sanitary sewer system is not anticipated, unless otherwise indicated by the video inspection or the results of the sampling.

It should also be noted that an existing city sanitary sewer main is routed directly below the current building as described by Facilities personnel. No issues to the building with respect to the sewer main were observed or identified by facilities personnel.



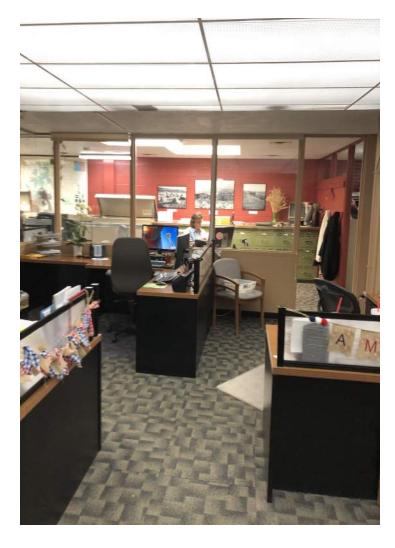


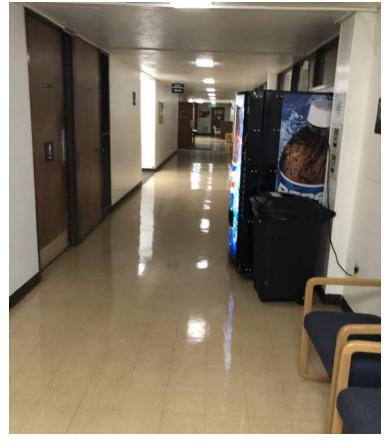
49

FIRE PROTECTION

No fire sprinkler system is installed within the facility. Current building Codes would require the installation of a fire sprinkler system throughout all stories of Group A occupancy to and including the levels of exit discharge. It is not known of the insurance underwriter for Moffat County requires the installation fire sprinkler systems. Many underwriters require the installation of fire sprinkler system for Group B occupancy (although not required by Code). The installation of a fire sprinkler system in both the existing facility and the new addition should be included in the project budget.

Standpipes are not required as the floor level of the highest story is less than 30 feet above the lowest level of fire department vehicle access. This would be applicable to both the current facility and the planned addition.





FORMER KMART BUILDING

The Kmart building is located at 1100 West 4th Street, Craig, Colorado. The facility was built in 1993 and served as an operating retail store until it closed in December of 2016. The building has been vacant since this closure.

The 9.2-acre site stretches from the access road at Victory Way/US 40 to the north and Industrial road to the south. A large parking lot encompasses the northern portion of the site, while the building sites on the southern portion.



SITE

The former Kmart existing facility is served by Mack Lane which is reportedly privately owned and operated and not considered within the site scope of work. The site has ample asphalt surface parking on the north, west and east sides however is beyond its useful life and selected removal and replacement will be considered based on anticipated parking demands. The perimeter of the parking areas is surrounded with vertical curb and gutter that is in poor condition that will likely not be reused. ADA pedestrian access is from the north parking area that appears to conform with current regulations. The grading away from the building generally appears to be adequate. Roof drainage is routed to a storm sewer along the south side of the building.

There are a series of sump inlets throughout the parking area at the north that are likely conveyed to a detention pond area at the west side of the building and are expected to be reused. Sanitary and water infrastructure is available and with the building being fully sprinklered are assumed to have adequate capacity however out buildings may need service runs from available infrastructure. Fire hydrant spacing is likely not adequate and additional hydrants are anticipated.



53 Y EVALUATIONS Moffat County Courthouse FEASIBILITY STUDY 53

BUILDING

The building entry faces north on the site. The main rectangular building exterior walls are singlewythe load bearing CMU. The north and south walls are 8" CMU and the east and west walls are 12" CMU. The front wall is split face while the other three walls are smooth face. All exterior walls are painted. The entry vestibule and garden center project out from the main rectangular footprint. The entry vestibule is steel framed with aluminum storefront down low and metal stud infill with an exterior insulation finish system (EIFS) up high. The steel columns are clad with split-face CMU. The garden center on the west side has singlewythe 12" CMU up to the bottom of the storefront windows with steel framing with metal stud infill and EIFS above. There are two overhead doors and a compactor door on the east wall toward the south end for the at-grade dock area. The main electrical and fire and water entrances are at the southwest

corner of the building. Any renovation would mainatain the service entry at its existing location. The roof slopes from the north to the south with a gutter and downspouts along the south. The roof is a single-ply membrane on what appears to be two layers of rigid insulation.

The building envelope does not meet current energy code requirements. Any renovation would require adding insulation on the interior side of the exterior walls. Further investigation would need to be conducted, but for planning purposes we would recommend increasing the insulation on the roof to meet current energy codes and provide a new TPO membrane.

The building interior has minimal interior partitions with a few rooms around the building perimeter and a stock room in the back. A 5,500 sf wood framed mezzanine occupies a portion of the stock room. All interior partitions are stud walls and could easily be removed. Some areas do have VCT flooring that would also need to be removed and the main sales floor has an acoustical panel ceiling.







STRUCTURE

The building is one-story in height and approximately rectangular in plan with approximately 94,000 sf. The structural system consists of perimeter CMU load bearing/shear walls, and a steel framed interior roof support system. The interior columns are typically 6" to 8" TS sections at approximately a 34' x 40' bay layout. Steel bar joists spanning north-south at 6'-8" o.c., and joist girders at the east-west column lines support 1.5-inch x 20 ga. steel roof deck. There is a wood framed mezzanine across approximately 60% of the stock room located along the south wall of the building. The floor slab is a 4" slab-on-grade, reinforced with welded wire fabric. The building has a spread footing system with square pads at the interior columns and strip footings at the perimeter masonry walls. There is a smaller element of similar construction on the west side of the building, with a lower roof height; the old garden center.

The building structural systems appear to be in relatively good condition. We did not observe any indication of significant movement or settlement reflected in the relatively rigid masonry bearing/shear walls, or the slab-on-grade. The original construction drawings dated 1994, including Structural drawings are available for this building. Material strengths and design loadings are readily available. The Structural drawings indicate that the 1991 UBC was uses to design the structural systems, and all of the design load criteria are indicated in the General Notes. The roof supports 18 small (1,600# to 2,900#) AC units distributed across the plan. This building was designed for B occupancy, and normal occupancy structural risk factors = 1.0.

With the readily available information and relatively modern code used for design, this building would appear to be well suited for adaptation. One issue to be aware of is the change of use to possibly include A-3 space, and if occupancy for the building reaches 300, this may trigger a Risk Category III under the current code requiring amplification of load factors to wind, snow and seismic forces to account for the higher risk to occupants. Another issue to be aware of is the change in Code minimum design wind loads since 1994, and the tendency to remove ballast from older buildings when replacing roofs. Particularly in big-box retail spaces like this, this may result in wind uplift load conditions that need to be addressed with additional joist bracing or placing dead load on the roof (pavers).

Based on the conceptual design to-date, remodel features may include new window and door openings in the existing masonry exterior wall, a new entry element on the north side, and open courtyards within the building interior. Smaller new CMU wall openings may be accommodated with loose lintels (L $5 \times 3 \frac{1}{2} \times 5/16$ for each 4" of wall thickness). New openings larger than 8' wide may require the addition of steel H-frames (HSS $6 \times 4 \times 5/16$) behind the masonry to serve as a header to support the masonry over the opening and provide jamb sections capable of transmitting wind loads to the roof diaphragm and foundation.



We expect the new vestibule construction to be similar to the new construction at the existing building. For new interior courtyards, new frost depth foundation walls (8" thick by 36" tall, 4 psf reinforcing) with strip footings (24" x 12", 4 psf reinforcing) will be required to support new steel stud (600S162-54 at 16" o.c.) framed walls. The simplest way to reconfigure the roof is to remove entire sections of roof decking and joists. A new edge angle will be required at the opening perimeter. If roof openings are not located at existing joist locations, new joists or new supplemental steel beams and posts, may be required, and joist girder panel point reinforcing may be required to support the new walls/parapet conditions.

Provided parapets are not extended, and any new exterior finish materials are relatively light (stucco, metal panels, etc. (not brick or stone veneer), we do not anticipate significant issues with the existing foundations and exterior bearing/shear walls.



HEATING, VENTILATING, AND AIR CONDITIONING (HVAC)

The current system serving the facility is comprised of constant volume direct expansion (DX), gasfired rooftop units (RTU). The rooftop units have capacities as follows:

RTU-1: heating: 285 MBh input, 177 MBh output; cooling: 15 ton nominal.

RTU-2: heating: 285 MBh input, 177 MBh output; cooling: 15 ton nominal.

RTU-3: heating: 285 MBh input, 177 MBh output; cooling: 15 ton nominal.

RTU-4: heating: 350 MBh input, 217 MBh output; cooling: 20 ton nominal.

RTU-5: heating: 285 MBh input, 177 MBh output; cooling: 15 ton nominal.

RTU-6: heating: 285 MBh input, 177 MBh output; cooling: 15 ton nominal.

RTU-7: heating: 285 MBh input, 177 MBh output; cooling: 15 ton nominal.

RTU-8: heating: 285 MBh input, 177 MBh output; cooling: 15 ton nominal.

RTU-9: cooling only: 20 ton nominal.

RTU-10: heating: 285 MBh input, 177 MBh output; cooling: 15 ton nominal.

RTU-11: heating: 285 MBh input, 177 MBh output; cooling: 15 ton nominal.

RTU-12: heating: 143 MBh input, 89 MBh output; cooling: 5 ton nominal.

RTU-16: heating: 285 MBh input, 177 MBh output; cooling: 15 ton nominal.

RTU-17: heating: 285 MBh input, 177 MBh output; cooling: 15 ton nominal.

RTU-18: heating: 65 MBh input, 40 MBh output; cooling: 3 ton nominal.

Note: RTU-13 thru RTU-15 were not used. Ventilation air is introduced to the facility by intake hoods on the rooftop units. No testing, adjusting and balancing report was available for review, therefore compliance with Code required ventilation rates could not be confirmed.

Per nameplate data the rooftop units were manufactured in 1993.

Numerous centrifugal roof exhaust fans provide general/toilet and process exhaust from the facility. The majority of these fans were installed in 1993 per nameplate data. Based upon the conceptual floor plan it does not appear that these units would be required and therefore will be demolished. It should be noted that several of these fans were within 10' of the roof edge. Current Code requires the installation of fall protection would be required should the fans remain.

IV. FACILITY EVALUATIONS

Moffat County Courthouse FEASIBILITY STUDY

Combination supply diffusers and return grilles are typically utilized within the main floor of the facility, with ductwork distribution limited primarily to office areas.

Temperature control system consists of thermostats located in the office area with remote temperature sensor located throughout the main floor.

Per ASHRAE (American Society of Heating, Refrigeration and Air Conditioning Engineers) 2015 HVAC Applications Handbook the median life cycle of the mechanical equipment/ components are as noted below:

- Rooftop Units
 - 1. Fans centrifugal: 25 years
 - 2. Coils DX: 20 years
 - 3. Electric motors: 18 years
 - 4. Compressors reciprocating: 20 years
- Controls electronic: 15 years
- Controls electric: 16 years
- Exhaust Fans centrifugal: 25 years
- Ductwork: 30 years
- Air Terminals Diffusers, grilles and registers:
 27 years





57

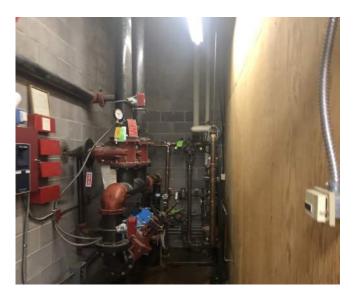
Based upon the median service life (equipment survival rate remains at or above 50%), failure of the primary components of the air handling units as noted above could be anticipated to occur in the near term. The cost of replacement of the rooftop units should be included in the project budget. Additionally, the current version of the International Existing Building Code (i.e. Chapter 9: Alterations - Level 3) requires system alterations to conform to the International Energy Conservation Code (IECC) when the renovation involves 50% or more of the aggregate area of the building. Consequently, the IECC requires HVAC systems that serve multiple zones to be variable air volume (VAV) systems. The concept plans indicate significant modification of the floor plans; therefore, replacement of air handling units and associated ductwork would have been dictated.

New VAV rooftop units consisting of a mixing section, filter section, a gas furnace heating section, DX cooling section and fan section would be provided and would be a combination of single zone and multiple zone VAV rooftop units. Alternatively, larger multiple zone VAV rooftop

units could potentially be utilized, however it is unknown if the roof structure could support this concept without significant modification.

Single zone VAV units are anticipated for open office areas, areas with similar occupancy/use and potentially the individual courtrooms. Low pressure sheet metal ductwork will be used the air distribution for single zone VAV units. Multiple zone VAV units would be used where multiple spaces are served by a one unit, but the spaces potentially have wide variations in loads from space to space, such as conference and meeting rooms and are located among office areas. The distribution system for multiple zone units will consist of medium-pressure ductwork, terminal boxes with electric reheat coils and low-pressure ductwork. The gas furnace section of the rooftop units would be used for pre-heat function with the unit discharge air temperature reset to reduce the amount of reheat required.

A plenum return system will be utilized for both the single zone VAV and the multiple zone VAV systems. The installation of a direct digital control (DDC) system should be provided. Much of the functionality of the packaged rooftop units resides within the units themselves. The control points that are resident in the rooftop units can be mapped to a DDC system to provide scheduling, remote access to unit operation, diagnostics for Facilities personnel, etc.



EXISTING FLECTRICAL

An existing pad mounted, utility company owner transformer is located near the Southwest corner of the building, providing 480/277-volt, 3-phase, 4-wire electrical service to the building. The existing service entrance feeder is routed underground from the utility transformer to the main distribution center located in the main electric room. The existing main distribution center serves branch circuit panelboards and distribution boards located throughout the building.

The existing electrical distribution system appears to have been installed with the original building construction in 1993. The existing electrical distribution equipment appears to have reached the end of its useful life and appears to be undersized for the revised building use. Thus, replacement of the existing electrical distribution equipment is anticipated.

The existing lighting, general power devices, and fire alarm devices will be disconnected and removed throughout the building. An additional branch electrical room is recommended to be located toward the East half of the building. Additionally, a new emergency electric room will be established near the main electric room to contain emergency distribution electrical equipment (automatic transfer switches, branch circuit panelboards, etc.)



ELECTRICAL DISTRIBUTION

A new 277/480-volt, 3-phase, 4-wire, 2500-amp main distribution switchboard (MDC) with ground fault main circuit breaker and surge protection device will be provided within the existing main electric room, along the West wall. New 2500-amp rated service entrance feeders will be routed underground from the MDC to the pad mounted utility transformer. Per NEC requirements, an alternate maintenance switch (AMS) will be required to temporarily reduce the short-time delay settings of the switchboard circuit breakers and illuminate an indicator light when the AMS is set in the "maintenance mode."

New branch circuit panelboards will be contained within the main electrical room and the branch electrical room to serve lighting, general power and equipment loads. Exact location and quantity of panelboards will be determined as the design progresses. A minimum of (1) 277/480-volt, 3-phase panelboard will be located in the main electric room to serve interior and exterior lighting loads.

Step-down transformers and 120/208-volt, 3-phase, 4-wire panelboards will be located in the main electrical room and branch electrical room to serve general power and equipment loads. Dedicated 277/480-volt, 3-phase, 4-wire and 120/208-volt, 3-phase, 4-wire branch circuit panelboards and associated step-down transformers will be provided in the main electrical room and branch electrical room to serve mechanical equipment loads located on the roof and throughout the building.

A minimum of (1) 277/480-volt, 3-phase, 4-wire and (1) 120/208-volt, 3-phase, 4-wire branch circuit panelboards and associated step-down transformer will be located within the new Vehicle and Trailer Storage building located East of the existing building.

Branch circuit panelboards, sub-distribution boards and the main distribution switchboard will have copper bus bars. All circuit breakers will be bolt-in type. These may be plug-in type provided they have positive locking mechanisms. All lighting and power panelboards will be door-in-door type construction and provided with a minimum of 30% spare circuit breaker capacity

A main ground copper ground bar will be provided in the main electric room. Ground bars will be provided in each electrical room and MDF/IDF room with ground conductor connections being provided back to the main ground bar. Ground connections will be provided from the main ground bar to building steel, cold water service, and driven ground rods, etc. as required by the NEC. All ground connections shall be made at each ground bar using 2-bolt mechanical lugs.



EMERGENCY ELECTRICAL DISTRIBUTION

An approximate 200kW (rated at site elevation), 277/480-volt, 3-phase, 4-wire standby diesel generator is anticipated to be provided near the Southwest corner of the building to serve emergency and standby loads. The generator will be equipped with a weatherproof, 75dba sound attenuated enclosure (Tier 2) and critical exhaust silencers. Additionally, fuel storage will be provided in a skid mounted UL 142 double wall tank to provide for a minimum twenty-four (24) hours of continuous operation under full load conditions. The generator will be capable of being on-line and providing power within 10 seconds. The size of the generator will be confirmed during the following design stages when additional load information becomes known.

A combination load bank/generator docking station with a lug connection cabinet and controls

cabinet will be located near the generator location to provide for temporary portable load bank and generator connections. This will allow for a truck mounted load bank or generator to be connected to the building system for maintenance of the main generator and for backup of the emergency system when necessary. Connections to the generator distribution board from the tap box will be provided.

The generator distribution switchboard will be rated at 400A – 480/277V with a 400A main circuit breaker. Circuit breaker types will be molded-case for the main breaker and molded case, adjustable trip electronic type on the feeder circuit breakers. Feeder circuit breakers will be provided to feed each automatic transfer switches for the emergency and standby systems.

Separate automatic transfer switches (ATS) will be provided for the emergency and standby branches and will be located in the new emergency electric room per Code. Emergency and standby branch circuit panelboards will be located in emergency electrical room and branch electrical room serve emergency lighting, fire alarm system, communications equipment, and minimal building HVAC components.

The circuit breakers serving the emergency system will be selectively coordinated. Legally required and optional systems will be in separate vertical switchboard sections of the generator distribution switchboard.

62 FEASIBILITY STUDY Moffat County Courthouse FEASIBILITY STUDY Moffat County Courthouse FEASIBILITY STUDY STUDY FEASIBILITY STUDY FEASIBILITY STUDY FEASIBILITY STUDY STUDY FEASIBILITY FEASIBILITY STUDY FEASIBILITY FEASIBI

LIGHTING

New interior lighting will consist of luminaires with integral LED sources. Luminaires will be specified with 0-10 volt electronic dimming drivers with the capability to dim to 1% output, 4000-degree Kelvin correct color temperature (CCT), minimum 85 color rendering index (CRI).

The interior lighting system design and luminaire selection for each space will be dependent upon design of ceilings and finishes within each individual space. The basis of design for the lighting system within some typical space types is as follows. The lighting system design will be refined and coordinated with the Architect as the design progresses into the next stage.

Circulation and Public Corridors: Recessed, 2x4 LED troffers and/or narrow aperture, recessed linear LED luminaires, varying in lengths from 4-ft to 8-ft. Restrooms: Recessed, linear LED luminaires above the lavatories and restroom fixtures with recessed downlights in the circulation space.

Utility Rooms (Mechanical, Electrical, Technology, Janitor, Storage, Shop Areas, etc.): Chain mounted or surface mounted LED strip luminaires.

Private Offices: Narrow aperture recessed linear LED luminaires or suspended direct/indirect luminaires.

Open Offices and Group Work Rooms: Narrow aperture recessed linear LED luminaires or suspended direct/indirect luminaires.

Conference and Meeting Rooms: Narrow aperture recessed linear LED luminaires or suspended direct/indirect luminaires.

The existing parking lot lighting is anticipated to be disconnected and removed. New pole mounted LED sources are anticipated. New parking lot lighting branch circuits will be routed below grade and stubbed up within the building

footprint to the accessible ceiling space.

Existing exterior building mounted luminaires will be disconnected and removed. New building mounted LED luminaires will be provided as required at building egress locations and to provide safety and security lighting around the perimeter of the building.

The exterior lighting system will be designed to meet Moffat County and Town of Craig requirements with regard to CCT, CRI, light levels, etc. All exterior luminaires will be "dark skies" compliant.

LIGHTING CONTROLS

A new, digital, low-voltage lighting control system will be provided throughout the building to meet the requirement of the 2018 International Energy Conservation Code (IECC).

The lighting control system head-end equipment will be located in the main electric room.

Low-voltage devices consisting of on/off switches, dimmer switches, occupancy/vacancy sensors, daylight harvesting photocells, etc. will be located throughout the building to provide automatic controls per the IECC. Exterior lighting will be controlled by the lighting control system based on input from the integral astronomic timeclock and input from an exterior rated photocell.





GENERAL POWER

Each private office will be equipped with a minimum of (4) duplex receptacles.

Conference rooms and meeting rooms will be equipped with duplex receptacles around the perimeter walls and floor devices as required to conform to the requirements of 2020 NEC 210.65. Additionally, power connections will be provided in conference rooms to support any audio/visual equipment.

Power will be provided in each location as necessary for ceiling mounted projectors, projection screens, wall mounted digital displays, audio/visual equipment, etc.

Duplex receptacles will be provided throughout the building for general convenience power in corridors, lobbies, mechanical rooms, electrical rooms, janitor closets, restrooms, elevator machine rooms and other similar spaces.

Additional devices and circuits will be provided as required for electric water coolers, copy machines, refrigerators, coffee makers, dishwashers, garbage disposals, microwaves and other owner furnished equipment.

The telecommunication rooms(s) will be equipped with one general convenience receptacle and additional power connections and specialty receptacles as necessary for equipment racks, access control equipment, etc. One (1) NEMA 6-30 receptacle will be required in each telecommunication room.

Power will be provided for building mechanical equipment and other equipment as required.

Exterior receptacles shall be GFI type and provided with in-use type weatherproof covers. Receptacles will be located near each building entrance, near the loading dock and the utility service yard.

EMT conduit shall be used throughout the building for electrical feeders, electrical branch circuits, low voltage systems, etc. EMT conduit smaller than ¾" will not be allowed.

FIRE ALARM

The fire alarm system in this building is anticipated to be a digital, voice evacuation type system. The system will be capable of monitoring the sensitivity and calibration of each detection device and reporting alarms by an alpha-numeric display and on a remote printer. Each detection device and manual pull station will be addressable and report to the control panel as an individual device. Addressable interface models will be used to connect the sprinkler system flow and tamper devices to the system.

A graphic map will be located in the main building lobby or designated fire fighter's response location. This annunciator will indicate by LED which device is in alarm and if there is trouble on the system.

Manual Stations: Double action pull stations will be located at each exit door and where required to meet the travel distance limitations per NFPA.

Photoelectric Smoke Detectors: In all electrical and telephone closets, main electrical room, emergency electrical room, and other spaces as required by Code. Thermal detectors to be provided in janitor closets and mechanical rooms.

Duct Detectors: In all supply and return ducts required by code.

Audible and Visual Notification Devices: Audible and visual notification devices will be located throughout the building as required to comply with current codes and ADA Standards. Notification devices shall be wall or ceiling mounted, white with red "ALERT" marking.

Remote Test Stations: Remote test stations shall be the magnetic type as required by CSU Standards. Fire Alarm Cabling: All fire alarm system cabling shall be routed in pre-finished "red" EMT conduit.

PLUMBING

The domestic water and fire service entrances are located in the water entry room in the southwest corner of the building. The 3" domestic water service and the 8" fire service are equipped with reduced pressure backflow preventers.

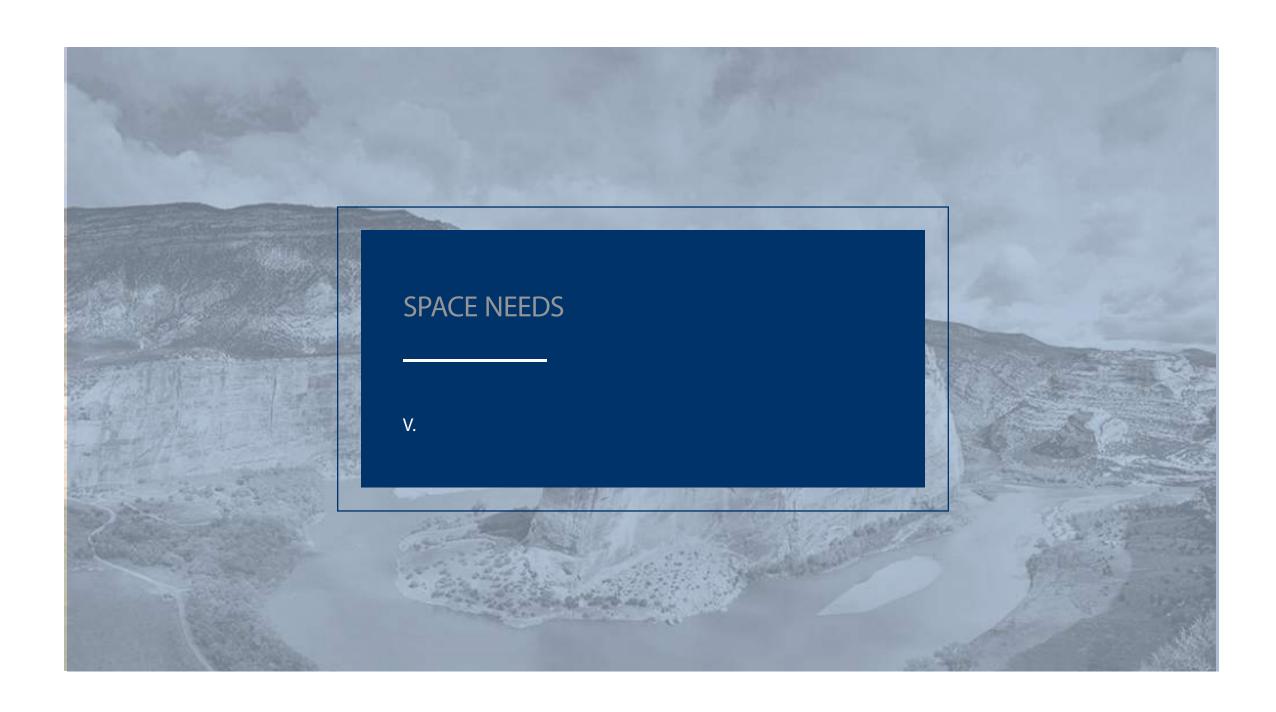
Domestic hot water for the facility is generated by three electric water heaters. The unit serving the main restrooms is a rated at 4.5 kW, 17 gallon and installed in the janitor's room adjacent to the restrooms. A mini-tank type (2.7 gallon) water heater serves the sink in the original pharmacy area. An 18kw, 80-gallon water serves the area formerly operated by Little Caesars. Based upon the nameplate data the unit was manufactured in 2001. A significant amount of corrosion was observed on the unit.

Given the age of the units, salvage for re-use is not cost effective. Given that none of these spaces will not be retained based on the proposed floor plan, the units will be demolished.

Plumbing fixtures installed in conjunction with construction of the building would not meet the water flow rate limitations as dictated by EPA WaterSense. Replacement of the plumbing fixtures should be included in project budgeting. The current restroom locations were not incorporated into the proposed floor plan and as such, the fixtures would have been demolished.

FIRE PROTECTION

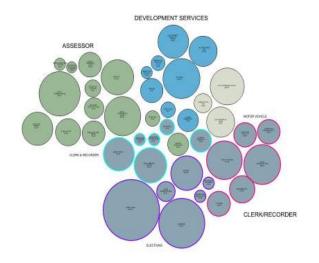
The facility is equipped throughout with wet and dry pipe fire sprinkler systems. Per the record documents the dry pipe system is utilized at the main entrance canopy, with coverage for the remainder of the facility provided by the wetpipe system. Backflow protection was observed on the fire service entrance as noted in the plumbing section above. Modification of the system will be required to accommodate the new floor plan, ceiling elements, luminaires, etc. and provide coverage in accordance with NFPA 13 for light hazard occupancy. The discharge of the backflow preventer safety discharge is currently direct to the floor. The installation of a funnel and corresponding piping routed to the adjacent floor sink should be provided at the backflow preventer safety discharge.

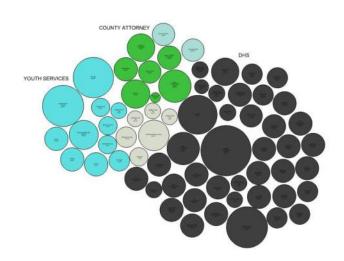


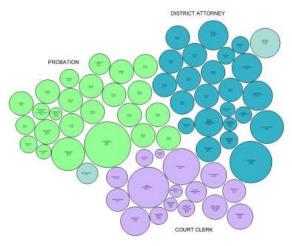
V. SPACE NEEDS FEASIBILITY STUDY 69

SPACE NEEDS

TreanorHL gathered information from the stakeholder groups through an initial survey with follow up meetings and tours of each department. From this information, space needs programs for the Courts and County Departments were developed. Consideration was taken to accommodate anticipated growth over the next 20 years and spaces are noted that could be shared between departments.







70 FEASIBILITY STUDY Moffat County Courthouse V. SPACE NEEDS

ľ	thouse Feasibility Study	1	SF/			I
	Room/Space	Qnty	Room	Net SF	Totals	Comments
I	District Attorney				4,745 sf	SCREEN PUBLIC
F	Reception Counter- Public	2	36	72		
F	Reception Counter- Staff	1	42	42		part time use
	Sub-Waiting Room	1	140	140		Seating for 4-6 people
	/ictim / Witness Waiting Room	1	180	180		Waiting for 6-8 people, adjacent to sub
ľ	Vicuiti / Withess Walting (Confi		100	100		waiting
l.	Dublic Teilet	4	60			
	Public Toilet	1	60	60		Adjacent to victim waiting
	Staff Workstations	1	64	64		8'x8' workstation
(Offices	9	130	1,170		Attorney/LA/Investigator/ Victim
E	District Attorney / ADA Shared Office	1	200	200		(2) workstations
ı	Regular Conference Room	1	400	400		12-14 persons
	Small Conference Room	1	175	175		6-8 persons
	Small Meeting Room	1	100	100		2-4 persons
						2-4 persons
	Copy/Work/File Area	1	50	50		
	Active Records	1	200	200		
1	Archive Records	1	200	200		off site
(Coffee / Break Area	1	200	200		Coffee/Microwave/Refrig/Sink/ Seating ar
	Jnisex Staff Restroom	2	68	136		
	Sub-Total		- 55	3,389		
	Circulation Grossing Factor	_	40%	1,356		
ľ	Sirculation Grossing Factor		40 /0	1,550		
ı	Probation				3,976 sf	SCREEN PUBLIC
F	Reception Counter- Public	1	36	36		
E	Reception Counter- Staff (workstations)	1	64	64		8'x6' workstation
5	Sub-Waiting Room	1	180	180		Seating for 4-6 people
	Public Toilet (UA)	1	72	72		Adjacent to sub-waiting, used for U.A.,
ľ	ubile foliet (6/1)		, _	12		provide storage
١.	2.0					
	Offices	14	110	1,540		meet with clients in office, 1-2 people
	Regular Conference Room	1	400	400		12-14 persons, with kitchenette
5	Small Conference Room	1	250	250		6-8 persons
(Copy/Work/File Area	1	50	50		
	Storage Room	1	80	80		
	File / Record Room	1	100	100		
	Jnisex Staff Restroom	1	68	68		
	Sub-Total		00	2,840		
	Circulation Grossing Factor		40%	1,136		
	ŭ .			,		
	Judicial Offices				2,614 sf	SCREEN PUBLIC
	Judge Chambers	3	375	1,125		Includes private toilet @ 68 sf; coat close
	/esting Judge	1	160	160		
(Court Executive	1	120	120		
0	Court reporter workstation	0	80	_		
	Reception	ő	100	_		
	Conference room	1	250	250		6-8 persons
						0-0 hersons
	Nork / Copy / File	1	60	60		
	Storage	1	64	64		
(Coffee Area	1	20	20		
į	Jnisex Staff Restroom	1	68	68		off secure court staff corridor
	Sub-Total			1,867		
(Circulation Grossing Factor		40%	747		
L						
	Courtrooms and Support Spaces	2	1.000	2.000	17,021 sf	SCREEN PUBLIC
	Regular Jury Courtroom	2	1,800	3,600		60 spectators, 14-person jury box
ا	_arge Jury Courtroom	1	2,400	2,400		80 spectators, 14-person jury box; seating
L	2	_	00	0.40		100 at jury selection
	Court Vestibule	3	80	240		1 per courtroom
	Courtroom waiting	3	150	450		within public circulation
(6	80	480		(2) per courtroom
(Attorney / Client Rooms	0				
(•		000			
(Jury Deliberation	2	300	600		
(•		300 68 72	600 272 144		

Room/Space	Qnty	SF/ Room	Net SF	Totals	Comments
Jury Service Station	2	10	20	101113	Comments
Bailiff Station	1	36	36		Adjacent to juny deliberation rooms
Ballii Station	1	30	36		Adjacent to jury deliberation rooms
Jury Assembly	10	100	1.000		100 seats
Storage	1	120	120		Tables and Chairs
AV Storage	1	120	120		Tables and Chairs
Evidence storage	1	80	80		
Storage	1	120	120		
Court IT/Data/AV	1	80	80		
Courtroom Holding					
Holding Cells	3	72	216		(2) at courtroom pair, (1) at large courtroor
ADA Holding Cells	2	80	160		(1) at courtroom pair, (1) at large courtroor
Soundlock	2	200	400		(1) at courtroom pair, (1) at large courtroon
	2	200	400		(1) at courtioon pair, (1) at large courtioor
Central Holding					
Group Holding Cell	1	240	240		
Isolation Holding Cell	1	80	80		
ADA Holding Cell	1	100	100		
Sallyport	1	200	200		
Secure Vehicle Sallyport	1	1.000	1,000		
Sub-Total		1,000	12,158		
Circulation Grossing Factor		40%	4,863		
Circulation Grossing Factor		40 70	4,003		
Court Clerk and Court Support				3,363 sf	SCREEN PUBLIC
Reception Counter- Public	2	24	48		(1) public (1) collections (full time)
Reception Counter- Staff	1	42	42		part time
Reception Counter- Staff (collections investigator)	1	100	100		workstation
Sub-Waiting Room	8	24	192		Workelation
Meeting room	1	120	120		Assess from out weiting and staff
weeting room	'	120	120		Access from sub-waiting and staff
Clerk of the Court Office	1	140	140		
Clerk of the Court Office Clerk workstations	6	64	384		8'x8' workstations
		36	36		
Bailiff workstation	1				6'x6' workstation
Family Court Facilitator /SLR Office	1	140	140		meeting with 3-4
IT Tech Workstation	1	100	100		
IT Workroom		150	150		
II WORKIOOM	1	150	150		
0		050	050		0.40
Conference room	1	250	250		8- 10 persons
Active Files	1	220	220		
Archive Records	1	100	100		
Work / Copy / File	1	100	100		
Coffee Area	1	20	20		
Break Area	1	200	200		
Unisex Staff Restroom	1	60	60		
Sub-Total			2,402		
Circulation Grossing Factor		40%	961		
Building Support	- 1	242	0.40	5,447 sf	SCREEN PUBLIC
Entrance Lobby	1	240	240		
Security Screening	1	250	250		
Security Queuing Area	50	8	400		Queuing for 50 people
Exit Vestibule	1	80	80		
D.1." D. 4					
Public Restrooms	2	200	400		
Vending	1	20	20		
	3	50	150		
Custodial	3	100	300		
Custodial IT/Data	J				
IT/Data					
IT/Data Building Storage	1	300	300		
IT/Data Building Storage Building Maintenance	1	200	200		
IT/Data Building Storage	1				

eanorHL 1 TreanorHL 2

Moffat County Courthouse FEASIBILITY STUDY

71

V. SPACE NEEDS

			SF/			
	Room/Space	Qnty	Room	Net SF	Totals	Comments
	IT Room	150	150			
	Sub-Total Sub-Total			4,190		
	Circulation Grossing Factor		30%	1,257		
						I
	Program Component					
1	District Attorney				4,745	
2	Probation				3,976	
3	Judicial Offices				2,614	
4	1 Courtrooms and Support Spaces				17,021	
5	Court Clerk and Court Support				3,363	
6	Building Support				5,447	
	Base Building Subtotals				37,165	
	Unit Curses Subtestale (Net Aura)			·		·
	Unit Gross Subtotals (Net Area) Structural Design 'net to gross' factor (.02 x net square feet)			2%	743	
	Mech/Elec Distribution 'net to gross' factor (.05 x net square		eet)	5%	1.858	
	Multi-floor factor/ Two stairs, Two Elevator (800 square		,,,	-	-	TBD
	Building Circ. & Ext. walls: 'net to gross' factor (.07 x ne		re feet)	7%	2,602	
	Gross Area Total (On-Site)				42,369	

Moffat County, Colorado
Courthouse Feasibility Study

Cou	rthouse Feasibility Study					
	Room/Space	Qnty	SF/ Room	Net SF	Totals	Comments
1	Assessor Department				2,561 sf	
_	Public Waiting	8	24	192	,	Connect with Clerk and Treasure?
	Reception Counter - Public	2	24	48		
	Public Research Room	1	100	100		Adjacent to public counter, access public and staff
		2	36	72		Part time use
	Reception Counter- Staff (workstations)	_				
	Historical Document Storage	1	20	20		Shelving; adjacent to public counter and public research room;
						fire/water safe
	Staff Workstations	5	64	320		8'x8' workstation
	Micro/Laserfiche station	1	24	24		
	Assessor Office	1	180	180		desk plus meeting area for 4 people
	Small Meeting Room	1	100	100		2-4 persons; intense research; accessible to other
	Small Meeting Room		100	100		departments(?)
	0 110 / 10		050			
	Small Conference Room	1	250	250		6-8 persons; potential to share with Treasure Dept.
	Copy/Work/File Area	1	50	50		Share with other departments (Treasure, Clerk and Recorder,
						Development)
	Active Files	1	120	120		
	Archive Files (off site)	1	120	120		Central county archive area
	Safe / Vault	0.3	120	40		Fireproof; share with Development, Clerk/Recorder
	GIS / Map Room / Copy	0.3	200	67		workstation plus map storage; plotter; share with
						Development, Clerk/Recorder
	Coffee Area	0.3	200	67		Coffee/Microwave/Mini-frig/Sink; shared with Clerk,
						Development, Treasure
	Unisex Staff Restroom	1.0	60	60		
	Sub-Total			1,829		
	Circulation Grossing Factor		40%	732		
	Oricalation Grossing Factor		4070	702		
2	County Attorney				1.915 sf	SCREEN PUBLIC
		4	20	144	1,910 51	
	Public Waiting		36			waiting for 3-4 with public window
	Reception Counter - Public	1	24	24		
	County Attorney	1	180	180		desk plus meeting area for 4 people
	Assistant County Attorney	1	140	140		Shared staff w/ DHS; locate in attorney suite
	Paralegal	1	130	130		Window access to sub-waiting room
	Small Conference Room	1	250	250		6-8 persons
	Active Files	1	120	120		
		1	120	120		Control county continue con
	Archive Files (off site)					Central county archive area
	Work / Copy / File	0.5	100	50		Share with DHS
	Storage Room	0.5	80	40		Share with DHS
	Break/ Kitchen	0.5	220	110		Share with DHS
	Unisex Staff Restroom	1	60	60		Share with DHS, Probation; (3) total
	Sub-Total			1,368		1337
	Circulation Grossing Factor		40%	547		
	Oricalation Grossing Factor		4070	347		
•	County Clark & Bookedon				4.804 sf	
3					4,804 ST	
	Motor Vehicle					
	Reception Counter - Public, Motor Vehicle	4	24	96		
	Public waiting , Motor Vehicle	10	24	240		
	Reception Counter - Staff, Motor Vehicle	4	24	96		
	Staff Workstations - Motor Vehicle	4	64	256		8'x8' workstation
	Motor Vehicle Storage	1	100	100		
						License plates, stickers, tags, etc.
	Records / File	1	120	120		Share with Recorder
	Elections					
	Reception Counter - Public, Elections	1	24	24		
	Reception Counter - Staff, Elections	1	24	24		
	Public waiting , Elections	8	24	192		
	Staff Workstations- Elections	1	64	64		8'x8' workstation
	Elections "War" Room	1	600	600		Dedicated to elections
	Elections Storage	1	400	400		Adjacent to "war" room, storage for ballot machines, ballots
	Elections Archive Storage	1	150	150		Central county archive area
				1		
	Recorder					
	Reception Counter - Public, Recorder	1	24	24		
	Public Research Room	1	200	200		(3) workstations for Recorder
	I ubilo research recom		200	200		(o) workstations for Necolder

anorHL 3 TreanorHL 1

72 FEASIBILITY STUDY Moffat County Courthouse V. SPACE NEEDS

	Room/Space	Qnty	SF/ Room	Net SF	Totals	Comments
	Reception Counter - Staff, Recorder	1	24	24		
	Staff Workstations - Recorder	1	80	80		8'x10' workstations
	Records / File	1	120	120		Share with Motor Vehicle
	Clerk / Shared Spaces					
	Reception Counter - Public, Liquor/Marriage	1	24	24		
	Reception Counter - Staff, Liquor/Marriage	1	24	24		
	Clerk Office	1	140	140		
	Small Meeting Room(s)	2	100	200		2-4 people meeting room, individual wellness
		0	120	40		Fireproof; share with Development, Assessor
	GIS / Map Room / Copy	0.3	200	67		workstation plus map storage; plotter; share with
						Development, Assessor
	Coffee Area	0.3	200	67		Coffee/Microwave/Mini-frig/Sink; shared with Clerk,
						Development
	Unisex Staff Restroom	1	60	60		
	Sub-Total			3,431		
	Circulation Grossing Factor		40%	1,373		
4	Coroner				280 sf	NOT IN PUBLIC AREA
	Office	1	200	200		(2) desks with file storage
	Refrigerator area	1	80	80		in secure sallyport
	Sub-Total			200		
	Circulation Grossing Factor		40%	80		
5	Development Services				1,707 sf	
	Reception Counter - Public	1	24	24		
	Public waiting	4	24	96		
	Reception Counter- Staff (workstations)	1	36	36		
	Development Director Office	1	180	180		Future Bldg. Inspector, space for plan tables in offices
	Office(s)	2	130	260		Future Bldg. Inspector, space for plan tables in offices
	File/ Record Rm	1	150	150		
	Records Storage	1	300	300		Central county archive area
	Safe / Vault	0	120	40		Fireproof; share with Assessor, Clerk/Recorder
	GIS / Map Room / Copy	0.3	200	67		workstation plus map storage; plotter; share with Clerk/Recorder, Assessor
	Coffee Area	0.3	200	67		Coffee/Microwave/Mini-frig/Sink; shared with Clerk,
	Collee Alea	0.3	200	67		Development
	Unisex Staff Restroom	0	60			Included in Treasure/Clerk
	Sub-Total	-	- 00	1,219		moduce in reasons, oten
	Circulation Grossing Factor		40%	488		
	On Guidadin Grossing Fastor		1070			
6	Department of Human Services				8,128 sf	SCREEN PUBLIC
	Reception Counter - Public	2	24	48		
	Public waiting	10	30	300		
	Reception Counter- Staff Assistant	1	64	64		8'x8' workstations
	Reception Counter- Administrative Assistant	1	64	64		8'x8' workstations
	Work / Copy / File	1.0	80	80		
	Small Conference Room	1	250	250		6-8 persons
	Large Conference Room	1	600	600		18-20 persons, training, shared
	Administration					
	Director Office	1	180	180		
	Administrative Assistant	1	64	64		8'x8' workstations
	Foster Care Coord	1	130	130		
	Assistant County Attorney	0	120	-		Moved to County Attny.
	Self Sufficiency					
	Self Sufficiency Manager	1	130	130		
	SS Case Manager	10	108	1,080		
	5		400			
	Interview Rooms	6	100	600		
	Unisex Public Restroom	2	60	120		
	Observation/ Playroom	1	400	400		Access to exterior?
	Child		l			
	Child welfare Casework Services Manager	1	130	130		
	CW Casework Services Manager CW Caseworker	6	108	130 648		
	OVV GASCWOINEI		100	1 040		I

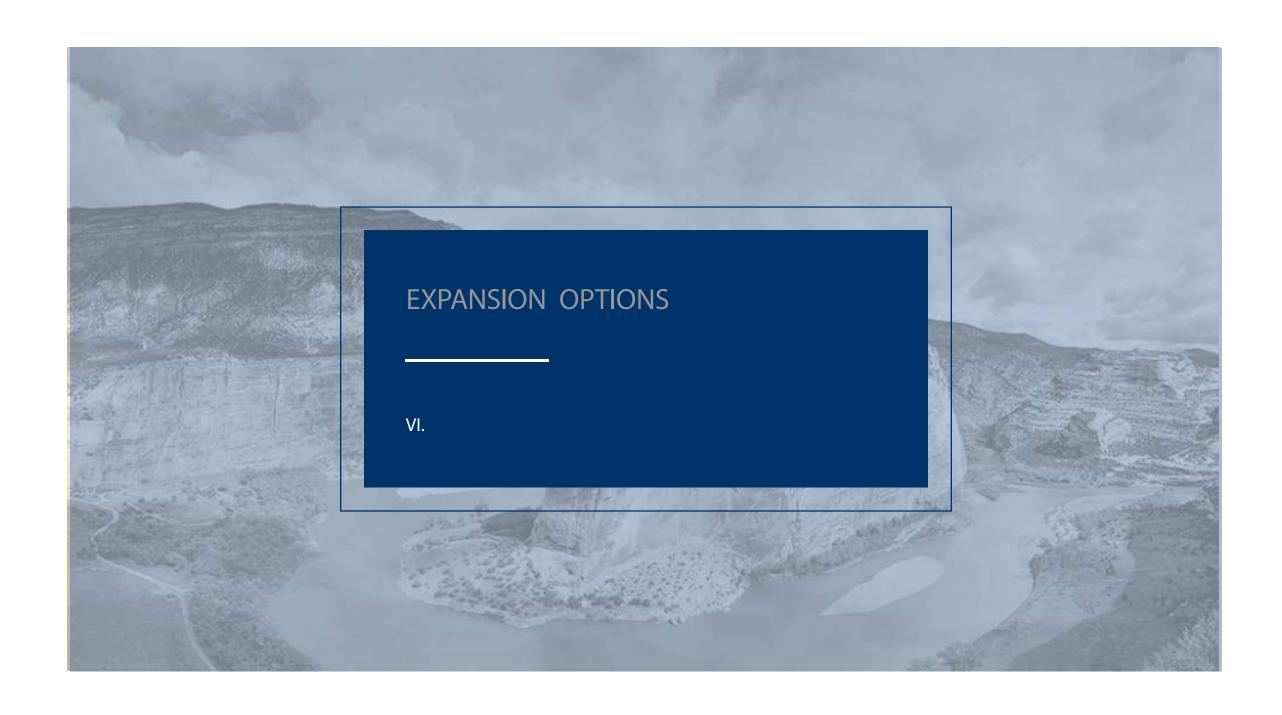
	Room/Space	Qnty	SF/ Room	Net SF	Totals	Comments
	CW Case Services Aide	2	108	216		
	CW CCR Coord & Finance Tech	1	108	108		
	Administrative Assistant	1	64	64		8'x8' workstations
	Archive Files (off site)	1	120	120		Central county archive area
	Storage	1.0	100	100		,
	Work / Copy / File	1.0	80	80		
	Break/ Kitchen	0.5	220	110		Share with County Attorney
	Unisex Staff Restroom	2	60	120		Share with County Attorney, Probation; (3) total
			60			Share with County Attorney, Probation; (3) total
	Sub-Total Circulation Grossing Factor		40%	5,806 2,322		
	, and the second			_,		
7	Facilities Office	1	180	180	7,650 sf	
	Staff work area	1	350	350		Lockers, small meeting area, sink, coffee
		1	250	250		
	Storage- General					Supplies, Overstock
	Storage- Tools, Machines	1	250	250		Hand tools, small power tools
	Workshop					
	Fume Hood	1	150	150		
	Welding Area	1	100	100		
	Woodworking	1	325	325		
	Open Work Area	1	500	500		
	Garage					
	Mowers, Snow Removal	1	250	250		(3) mower, (1) skid steer, (5) snow blower
	Facility Fleet vehicles	8	250	2,000		(5) vehicles plus (3) trailers
	County Fleet Vehicles	8	250	2,000		(8) county fleet vehicles
	Flammable Storage	1	20	2,000		(o) county neet venicles
	Unisex Staff Restroom	2	80	160		
	Sub-Total			6,375		
	Circulation Grossing Factor		20%	1,275		
3	Finance				2,345 sf	
	Reception Counter- Public	1	24	24		
	Public waiting	2	24	48		
	Reception Counter- Staff	1	36	36		
	Admin Assistant Workstation	1	64	64		8'x8' workstation
	Director Office	1	180	180		
	Finance Specialist Office(s)	5	130	650		
	Small Conference Room	1	250	250		6-8 persons
	Active Files	1	120	120		0-0 pc/30/13
			120	120		Control county continue con
	Archive Files (off site)	1				Central county archive area
	Break/ Kitchen	0.3	220	73		Share with HR, Treasure
	Unisex Staff Restroom	1	60	60		Share with HR, Treasure- (2) Total
	Work / Copy / File	0.3	150	50		Share with HR, Treasure
	Sub-Total		400/	1,675		
	Circulation Grossing Factor		40%	670		
	Human Resources				2,502 sf	
)		4	48	192		4 people (waiting area for staff?)
)	Public Waiting			24		
)	Public Waiting Reception Counter- Public	1	24			
)	Public Waiting Reception Counter- Public Admin Assistant Workstation	1	48	48		8'x6' workstation
•	Public Waiting Reception Counter- Public Admin Assistant Workstation Director Office		48 180			Space in office for small table for meetings (3-4)
)	Public Waiting Reception Counter- Public Admin Assistant Workstation	1	48	48		
9	Public Waiting Reception Counter- Public Admin Assistant Workstation Director Office	1	48 180	48 180		Space in office for small table for meetings (3-4)
)	Public Waiting Reception Counter-Public Admin Assistant Workstation Director Office HR Specialist Office Conference Room	1 1 1	48 180 130 600	48 180 130 600		Space in office for small table for meetings (3-4) (Terri) needs some sound separation 12-14 persons - new hires, training sessions (table and classroom setting)
	Public Waiting Reception Counter- Public Admin Assistant Workstation Director Office HR Specialist Office Conference Room Small Conference Room	1 1 1	48 180 130 600	48 180 130 600		Space in office for small table for meetings (3-4) (Terri) needs some sound separation 12-14 persons - new hires, training sessions (table and
	Public Waiting Reception Counter- Public Admin Assistant Workstation Director Office HR Specialist Office Conference Room Small Conference Room Active Files	1 1 1	48 180 130 600 250 120	48 180 130 600		Space in office for small table for meetings (3-4) (Terri) needs some sound separation 12-14 persons - new hires, training sessions (table and classroom setting) 6-8 persons; shared
)	Public Waiting Reception Counter- Public Admin Assistant Workstation Director Office HR Specialist Office Conference Room Small Conference Room	1 1 1 1	48 180 130 600	48 180 130 600		Space in office for small table for meetings (3-4) (Terri) needs some sound separation 12-14 persons - new hires, training sessions (table and classroom setting)
	Public Waiting Reception Counter- Public Admin Assistant Workstation Director Office HR Specialist Office Conference Room Small Conference Room Active Files	1 1 1 1	48 180 130 600 250 120	48 180 130 600 250 120		Space in office for small table for meetings (3-4) (Terri) needs some sound separation 12-14 persons - new hires, training sessions (table and classroom setting) 6-8 persons; shared Central county archive area
	Public Waiting Reception Counter- Public Admin Assistant Workstation Director Office HR Specialist Office Conference Room Small Conference Room Active Files Archive Files (off site)	1 1 1 1 1 1	48 180 130 600 250 120 120	48 180 130 600 250 120 120		Space in office for small table for meetings (3-4) (Terri) needs some sound separation 12-14 persons - new hires, training sessions (table and classroom setting) 6-8 persons; shared Central county archive area Share with Finance, Treasure
	Public Waiting Reception Counter- Public Admin Assistant Workstation Director Office HR Specialist Office Conference Room Small Conference Room Active Files Archive Files (off site) Break/ Kitchen Unisex Staff Restroom	1 1 1 1 1 1 0.3 0	48 180 130 600 250 120 120 220 60	48 180 130 600 250 120 120 73		Space in office for small table for meetings (3-4) (Terri) needs some sound separation 12-14 persons - new hires, training sessions (table and classroom setting) 6-8 persons; shared Central county archive area Share with Finance, Treasure Share with Finance, Treasure (2) Total
	Public Waiting Reception Counter-Public Admin Assistant Workstation Director Office HR Specialist Office Conference Room Small Conference Room Active Files Archive Files (off site) Break/ Kitchen	1 1 1 1 1 1 1 0.3	48 180 130 600 250 120 120 220	48 180 130 600 250 120 120		Space in office for small table for meetings (3-4) (Terri) needs some sound separation 12-14 persons - new hires, training sessions (table and classroom setting) 6-8 persons; shared Central county archive area Share with Finance, Treasure

eanorHL 2 TreanorHL 3

	Room/Space	Qnty	SF/ Room	Net SF	Totals	Comments
10	ІТ				927 sf	
	Office	2	156	312		Work table in each office
	Storage Room	1	150	150		
	Server/ Networking Room	1	200	200		
	Sub-Total		100/	662		
	Circulation Grossing Factor		40%	265		
11	Natural Resources/ BOCC				5,592 sf	
	Reception Counter - Public	1	24	24		
	Public waiting	4	48	192		
	Reception Counter- Staff (workstations)	1	48	48		8'x6' workstations
	Work / Copy / File Natural Resource Director Office	1	40 130	40 130		
	Natural Resource Director Office	'	130	130		
	Commissioners Chambers					
	Dias	8	90	720		8 seats
	Presentation Podium	1	100	100		
	Seating	50	15	750		
	Storage Room	1	100	100		Tables and chairs
	1,570 Clerk to the Commission	1	130	130		
	Commissioners Office	4	130	520		
	Commissioners Office	_	100	020		
	Executive Session / Conference Room	1	400	400		
	Large Conference Room	1	700	700		ability to divide space
	Kitchenette	1	80	80		Share?
	Unisex Staff Restroom	1	60	60		
	Sub-Total		100/	3,994		
	Circulation Grossing Factor		40%	1,598		
12	Veterans Service				386 sf	
	Waiting	2	48	96		
	Office	1	180	180		Meeting w/ 2 plus storage
	Small Conference Room	0	250	-		Shared in building
	Sub-Total Circulation Grossing Factor		40%	276 110		
	Circulation Grossing Factor		4070	110		
13	Weed and Pest				361 sf	ADJACENT TO EXTENSION OFFICE
	Public waiting	1	48	48		Shared w/ CSU Extension
	Office	1	130	130		
	Conference Room	0	400	-		12-14 persons - Shared
	Work / Copy / File	1	80	80		Shared
	Shop Sub-Total	U		258		Located at Road & Bridge
	Circulation Grossing Factor		40%	103		
14	CSU Extension				5,286 sf	
	Public waiting	8	48	384		plus promotional material
	Reception Counter - Public	1	24 48	24		Oli-Clussed-stationary should state used and and
	Reception Counter- Staff (workstations) Promotional material	1	48	48		8'x6' workstations, shared with weed and pest
	Conference Room	1	400	400		12-14 persons
	Work / Copy / File	1	80	80		· F
	Coffee Area	1	20	20		Coffee/Microwave/Mini-frig/Sink, share with Weed and Past
	Office(s)	3	108	324		
	Group Meeting Room	60	15	900		60 persons /4H Ability to access exterior
	Kitchen Table and Chair Starage	1	400 120	400 120		Teaching kitchen
	Table and Chair Storage 4H Storage	1	200	200		
	Public Restrooms	2	200	400		
	Large Storage Room	1	800	800		
	Unisex Staff Restroom	1	60	60		
	Sub-Total			3,776		
	Circulation Grossing Factor		40%	1,510		
45	Youth Services				2 304 05	SCREEN PUBLIC
10	TOURIT SETVICES				2,33151	JUNETA PUBLIC

Room/Space	Qnty	SF/ Room	Net SF	Totals	Comments
Public waiting	8	48	384		intercom
Interview / Meeting Rooms	1	200	200		Access from waiting
Public / UA Restroom	1	80	80		plus storage
Office	3	108	324		
Conference Room	1	400	400		
Break/ Kitchen	1	80	80		Space for food for kids, shared with DHS and CA?
Storage Room	1	100	100		shared with DHS and CA?
Unisex Staff Restroom	1	60	60		shared with DHS and CA?
Work / Copy / File	1	80	80		shared with DHS and CA?
Sub-Total			1,708		
Circulation Grossing Factor		40%	683		
Treasurer				2.659 sf	
Reception Counter- Public	3	24	72	2,039 51	
Public waiting	4	48	192		
Reception Counter- Staff (workstations)	3	36	108		Part time use
Staff Workstations- open	3	48	144		8'x6' workstation
Public Trustee	1	130	130		
Treasurer Office	1	180	180		
Small Conference Room	1	250	250		6-8 persons
Conference Room	1	400	400		12-14 persons (share?)
Active Files	1	120	120		, , ,
Archive Files (off site)	1	120	120		Central county archive area
Break/ Kitchen	0.3	220	73		Share with Finance, HR
Unisex Staff Restroom	1	60	60		Share with Finance, HR- (2) Total
Work / Copy / File	0.3	150	50		Share with Finance, HR
Sub-Total			1,899		
Circulation Grossing Factor		40%	760		

	Program Component			
1	Assessor Department		2,561	
2	County Attorney		1,915	
3	County Clerk & Recorder		4,804	
4	Coroner		280	
5	Development Services		1,707	
6	Department of Human Services		8,128	
7	Facilities		7,650	
8	Finance		2,345	
9	Human Resources		2,502	
10	IT		927	
11	Natural Resources/ BOCC		5,592	
12	Veterans Service		386	
13	Weed and Pest		361	
14	CSU Extension		5,286	
15	Youth Services		2,391	
16	Treasurer		2,659	
	Base Building Subtotals		49,495	
	Unit Gross Subtotals (Net Area)			
	Structural Design 'net to gross' factor (.02 x	2%	990	
	net square feet)			
	Mech/Elec Distribution 'net to gross' factor (.05 x net square feet)	5%	2,475	
	Multi-floor factor/ Two stairs, Two Elevator (800 square feet)	4	3,200	
	Building Circ. & Ext. walls: 'net to gross' factor (.07 x net square t	7%	3,465	
	Gross Area Total (On-Site)		59,625	



EXISTING MOFFAT COUNTY COURTHOUSE

ADDITION & RENOVATION

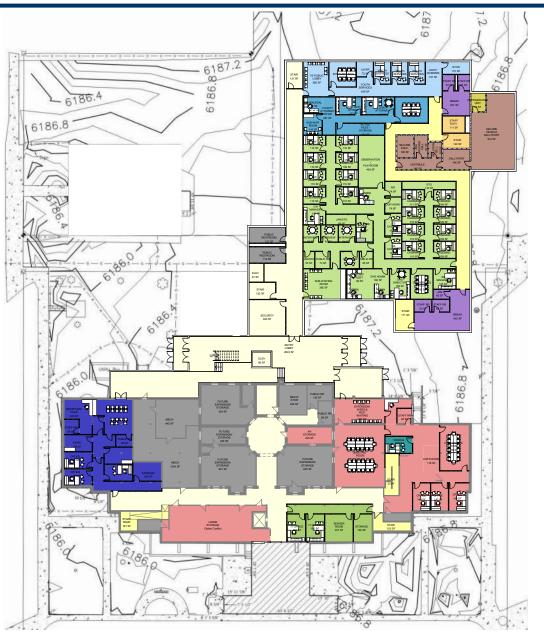
TreanorHL explored two options to provide the needed additional space and consolidate all the courts and County departments into one facility; an option to renovate and add onto the existing courthouse and an option to renovate the former Kmart building.

The existing courthouse option proposes a three-story, approximately 55,000 sf, addition to north of the existing courthouse. The main portion of the addition would house the 14th Judicial District, Probation, District Attorney, County Attorney, Department of Human Services, and Youth Services.

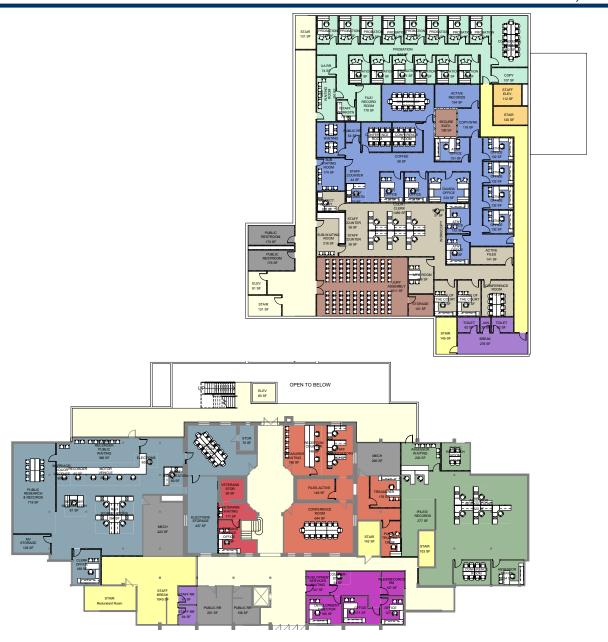
All of the programs areas will be accessed through a security screening area. The existing courthouse would be renovated to house the remaining County departments. A three-story addition would be added directly on the north side of the existing courthouse with a new public stair and elevator providing access to the existing courthouse. A one-story link would connect the two three-story additions. The west end of the link would be the main public entry with a secondary public entry on the east side.

These would be the only two public entries to the entire building, eliminating the many access points of the existing courthouse.

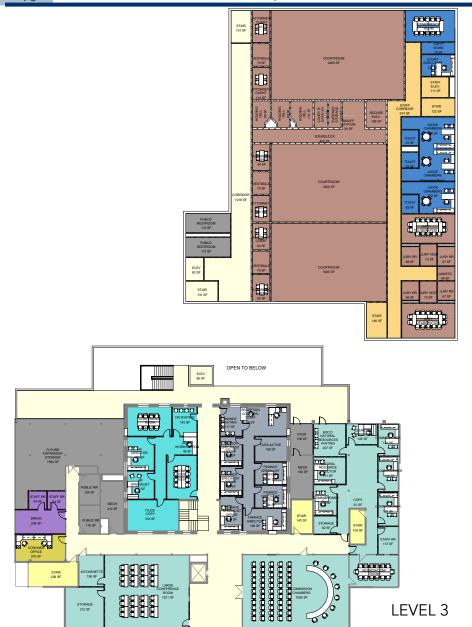
A security check point would be located in the one-story link with a baggage scanner and metal detector to screen those going to the Courts and other departments noted above. The new circulation between the existing courthouse and the new addition can also provide a single point of entry and security screening if this is a future requirement.

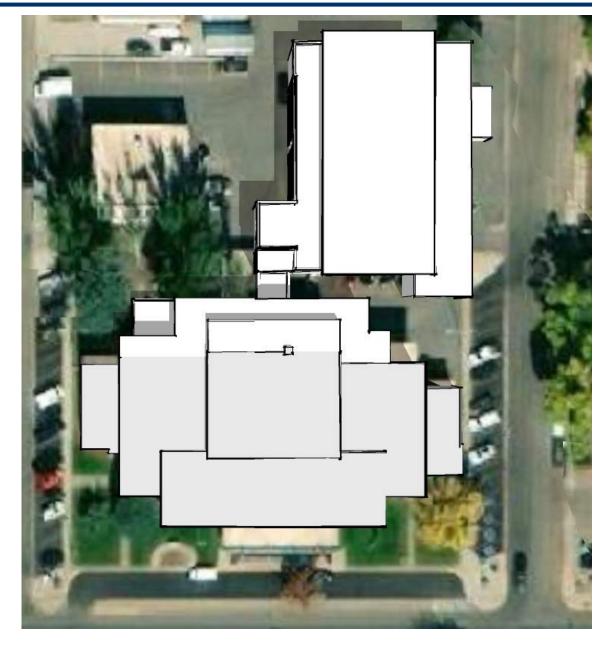


LEVEL 1



LEVEL 2







Aerial View



View of new East Entry

FORMER KMART BUILDING RENOVATION

The existing building interior is proposed to be stripped down to the structure and the existing entry vestibule on the North will be removed. A new public entry is proposed to be constructed on the north side of the building. The main drive in front of the building will be shifted to the north to create more space between the drive and the building allowing for an open entry plaza and allowing space to integrate security barriers such as large stones or seat walls to provide a vehicle barrier

The new drive location will also move the drive out of the winter shadow zone assisting with snow and ice melt. The building is organized with the court functions, District Attorney, Probation, Department of Human Services, Youth Services, and County Attorney on the east half of the building with the remaining county departments in the west half of the building. In the new public entry, a security checkpoint will be provided with a baggage scanner and metal detector to screen all those going to the departments on the east side of the building. The departments on each side are arranged along a wide public corridor with subwaiting rooms off the public corridor.



CSU Entrance on West Elevation-Base Bid

All county departments will have access to a secure staff zone that contains shared restrooms, copy, storage, and break areas with adjacent outdoor courtyard spaces. The outdoor courtyard spaces would allow access to the outdoors by staff during the day and bring in additional natural light to the interior of the building.

A new 11,300 sf pre-engineered metal building is proposed to be constructed on the site to house Facilities work areas and all Facilities and County fleet vehicles.



Aerial View- Base Bid



Aerial View - Base Bid with Add Alternates





Floor Plan-Base Bid with Add Alternates

ESTIMATED PROJECT COSTS

The estimate of project costs is a preliminary review of the potential construction costs and project "soft" costs based upon the outline scopes of work for each building. The construction cost estimate is an "Order of Magnitude Estimate" and is based upon historical project data from similar projects in the Moffat County area.

The construction market in 2020 has been impacted by the current health pandemic and has added uncertainty. While the overall construction market has seen a reduction in cost escalation and favorable bid markets, these savings do not fully translate to a more remote mountain community.

The smaller sub-contractor pool combined with a strong construction market in neighboring and nearby counites fuels a higher cost per square foot than other areas.

These estimates are divided into two components: construction costs and project "soft" costs. The construction costs are an estimate of the costs to construct the project. The estimate includes the direct costs by material division and the associated indirect costs to a contractor. The indirect costs include an estimate contingency, insurance, bonds and overhead and profit.

The project "soft" costs are those expenses associated with the project above the construction costs. These include the design professional fees, site survey, hazardous material abatement, printing, construction testing, furniture/fixtures/ equipment, and an owner's contingency. Together this provides the overall project estimate.

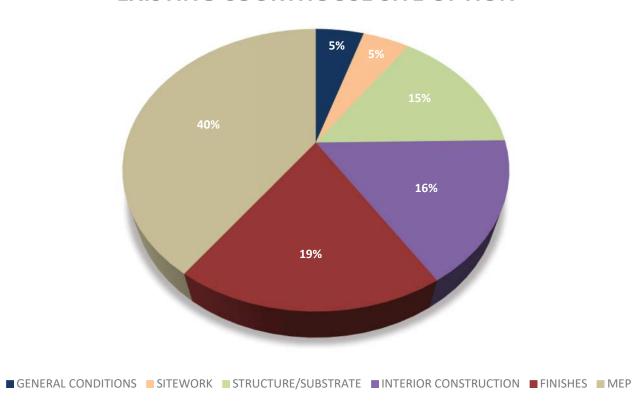
The estimate is based upon 2020 dollars and costs may adjust for future years based upon market condition.

EXISTING COURTHOUSE

The estimate includes appropriately 51,000 gsf of existing space to be remodeled and 56,000 gsf of new construction.

Construction Cost	SF	\$/sf	Sub-total
Site Developement	t		\$ 1,294,674
Building Addition	56,012	\$452	\$25,343,287
Renovation	50,865	\$292	\$14,856,320
TOTAL			\$41,494,281
Project "soft" Costs			\$ 4,012,542
TOTAL PROJECT COSTS			\$45,506,823

EXISTING COURTHOUSE SITE OPTION



MART SITE OPTION

86 FEASIBILITY STUDY Moffat County Courthouse

MOFFAT COUNTY, CO

Courthouse Feasibility Study

Summary of Costs - Existing Courthouse Renovation & Addition 2020 Dollars

,				
	Square Footage	Average \$/SF		Total
ONSTRUCTION COSTS				
Site Development			\$	1,294,674
Building Addition	56.012	\$ 452	\$	25,343,287
Renovation	50.864	\$ 292	\$	14,856,320
TOTAL BASE BID	106,876	\$ 388	\$	41,494,28
		,		, - , -
OFT COSTS				
Site Acquisition		Not applicable		
Off Site Utilities		TBD	\$	-
Street Improvements		TBD	\$	-
Building permit		*Waiver?	\$	130,000
Development Fees		Not applicable		
Environmental Phase I		Not applicable		
Design Fees	8.0%	of construction	\$	3,319,542
Civil and Landscape		Included in Desi		
Kitchen Consultant		Included in Desi		
Technology Design		Included in Desi		
Security Electronics Design		Included in Desi		
Reimbursables/Other			\$	10,000
Survey			\$	8,00
Soils Report			\$	10,000
Construction Testing			\$	500,000
Printing			\$	-
Furniture and Equipment		TBD	\$	
Telephone/Data		Conduit/Cable in	n Constructi	
Audio/Visual (County Departments)			\$	35,00
Audio/Visual (Court)			\$	-
Builders Risk/Insurance		Included in cons		sts
Commissioning		TDD	\$	-
Moving Expenses		TBD	\$	-
Bond/Finanical Fees		Included in cons		sts
Owner Contingency			\$	-
SOFT COST TOTALS			\$	4,012,542
TOTAL PROJECT COSTS			\$	45,506,823
TOTAL PROJECT COSTS			ψ	40,000,023

FCI Constructors, Inc. Date: Project:

te: July 24, 2020

EXISTING COURTHOUSE SITE OPTION

Project: MOFFAT COUNTY COURTS & COUNTY SERVICES								E	XISTING COURTHOUSE S	ITE OPTION
MOFFAT COUNTY	NEW CONS	TR. 56,012	NEW CONSTR.	-	NEW CONSTR.	56,012	NEW CONSTR.	56.012	Ī	
CRAIG, CO	RENOVATI		RENOVATION		RENOVATION		RENOVATION			
CONCEPTUAL PROGRAMMATIC COST MODEL	COURTS BU	ILDING ADDN	EXISTING BUILD	ING REMODEL	SITE DEVEL	OPMENT	TOTA	LS		
DESCRIPTION	TOTAL SF	56,012		50,864	TOTAL SF	106,876	TOTAL SF	106,876		
	TOTAL COST	COST/SF	TOTAL COST	COST/SF	TOTAL COST	COST/SF	TOTAL COST	COST/SF	NOTES	
100000 GENERAL CONDITIONS	\$ 1,056,0	00 \$ 18.85	\$ 550,000	\$ 10.81	\$ 140,000	\$ 2.75	\$ 1,746,000	\$ 16.34		ļ
310000 SITE WORK	\$ -	\$ -	\$ -	\$ -	\$ 810,000	\$ 15.92	\$ 810,000	\$ 7.58		
020000 SITEWORK - EXISTING CONDTIONS	\$	\$ -	\$ 501,060	\$ 9.85	\$ -	\$ -	\$ 501,060	\$ 4.69		
020000 SITEWORK - BUILDING	\$ 354,9	32 \$ 6.34	\$ 35,000	\$ 0.69	\$ -	\$ -	\$ 389,932	\$ 3.65	BLDG PAD PREP	
020000 SITEWORK - DEEP FOUNDATIONS	\$ -		\$ -	s -	\$ -	\$ -	s -	\$ -		<u> </u>
030000 CONCRETE	\$ 1,192,7	12 \$ 21.29	\$ 387,405	\$ 7.62	\$ -	\$ -	\$ 1,580,117	\$ 14.78		
040000 MASONRY	\$ 1,214,3	52 \$ 21.68	\$ 100,000	\$ 1.97	\$ -	\$ -	\$ 1,314,352	\$ 12.30		
050000 METALS	\$ 1,604,8	68 \$ 28.65	\$ 940,984	\$ 18.50	\$ -	\$ -	\$ 2,545,852	\$ 23.82		
060000 WOOD & PLASTICS	\$ 904,1	82 \$ 16.14	\$ 438,825	\$ 8.63	\$ -	\$ -	\$ 1,343,007	\$ 12.57		<u> </u>
070000 THERMAL & MOISTURE PROTECTION	\$ 1,509,6	75 \$ 26.95	\$ 644,047	\$ 12.66	\$ -	\$	\$ 2,153,723	\$ 20.15		
080000 DOORS & WINDOWS	\$ 1,610,8	55 \$ 28.76	\$ 757,629	\$ 14.90	\$ -	\$ -	\$ 2,368,484	\$ 22.16		
090000 FINISHES	\$ 3,327,0	80 \$ 59.40	\$ 1,986,857	\$ 39.06	\$ -	\$ -	\$ 5,313,937	\$ 49.72		
100000 SPECIALTIES	\$ 212,8	46 \$ 3.80	\$ 152,592	\$ 3.00	\$ -	\$ -	\$ 365,438	\$ 3.42		T
110000 EQUIPMENT	\$ 36,5	0.65	\$ 35,216	\$ 0.69	\$ -	\$ -	\$ 71,719	\$ 0.67		1
120000 FURNISHINGS	\$ 306,9	04 \$ 5.48	\$ 127,247	\$ 2.50	\$ -	s -	\$ 434,151	\$ 4.06		
130000 SPECIAL CONSTRUCTION	\$	s -	s -	s -	\$ -	s -	s -	\$ -		T
140000 CONVEYING SYSTEMS	\$ 485,0	00 \$ 8.66	\$ 100,000	\$ 1.97	\$ -	s -	\$ 585,000	\$ 5.47		
210000 FIRE PROTECTION	\$ 221,2	47 \$ 3.95	\$ 216,172	\$ 4.25	\$ -	\$ -	\$ 437,419	\$ 4.09		T
230000 PLUMBING	\$ 1,232,2	64 \$ 22.00	\$ 762,960	\$ 15.00	\$ -	\$ -	\$ 1,995,224	\$ 18.67		1
250000 HVAC	\$ 2,912,6	24 \$ 52.00	\$ 2,848,384	\$ 56.00	\$ -	s -	\$ 5,761,008	\$ 53.90		
260000 ELECTRICAL	\$ 3,013,5	76 \$ 53.80	\$ 1,906,104	\$ 37.47	\$ -	s -	\$ 4,919,680	\$ 46.03		
27/280000 LV SPECIAL SYSTEMS	\$ 858,6	82 \$ 15.33	\$ 434,887	\$ 8.55	\$ -	\$ -	\$ 1,293,569	\$ 12.10		
SUBTOTAL - DIRECT COST	\$ 22,054,3	1 \$ 393.74	\$ 12,925,370	\$ 254.12	\$ 950,000	\$ 18.68	\$ 35,929,672	\$ 336.18		
CONTINGENCY	\$ 1,764,3	44 \$ 31.50	\$ 1,034,030	\$ 20.33	\$ 76,000	\$ 1.49	\$ 2,874,374	\$ 26.89	8.00%	
BUILDERS RISK INSURANCE	\$ 16,2	30 \$ 0.29	\$ 6,538	\$ 0.13	\$ 11,000	\$ 0.22	\$ 33,769	\$ 0.32		<u> </u>
GENERAL LIABILITY INSURANCE	\$ 190,2	00 \$ 3.40	\$ 111,450	\$ 2.19	\$ 187,500	\$ 3.69	\$ 489,150	\$ 4.58	0.75%	
PROPERTY SURVEY	\$	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	BY OWNER	
SOILS INVESTIGATION/GEOTECHNICAL ENGINEERING	\$	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	BY OWNER	
MATERIALS TESTING / INSPECTION	\$	\$ -	\$ -	s -	\$ -	\$ -	\$ -	\$ -	BY OWNER	
PLANNING APPLICATIONS/PERMIT/PLAN REVIEW FEES	\$	\$ -	s -	\$ -	\$ -	s -	\$ -	\$	BY OWNER	
BUILDING PERMIT	\$	\$	s -	\$	\$ -	\$	\$ -	\$ -	BY OWNER	
ARCHITECTURAL DESIGN & ENGINEERING (C/S/M&E)	\$	\$ -	s -	\$ -	\$ -	s -	\$ -	\$	BY OWNER	
PAYMENT/PERFORMANCE BONDS	\$ 111,3	88 \$ 1.99	\$ 71,488	\$ 1.41	\$ 8,523	\$ 0.17	\$ 191,399	\$ 1.79	1-YEAR WARRANTY	
CONSTRUCTION PHASE OVERHEAD & FEE	\$ 1,206,8	23 \$ 21.55	\$ 707,444	\$ 13.91	\$ 61,651	\$ 1.21	\$ 1,975,918	\$ 18.49	5.00%	
						_				
SUB-TOTAL ESTIMATED CONSTRUCTION COST	\$ 25,343,2	37 \$ 452.46	\$ 14,856,320	\$ 292.08	\$ 1,294,674	\$ 25.45	\$ 41,494,281	\$ 388.25		

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL
BGSF 56,012.00

DESCRIPTION		OTV	***	IDUT DDICE	 TOTALE	COCT (CF	NOTES (COMPUTS
DESCRIPTION BUILDING ADDITION		QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
020000 - SITEWORK-BUILDING							
FDN EXCAV-MAT FOUNDATIONS		273.51	CY	\$ 8.50	\$ 2,325		EXCAV TO FROST DEPTH-36"
OVER-EX & REPLACE- MAT FOUNDAT	CIONE	273.51	CY	\$ 71.40	\$ 19,529		OVER-EX/REPLACE/DISPOSE 36
		847.11	CY	\$ 8.50			
FDN EXCAV-COLUMN & WALL FOOT					7 1,200		EXCAV TO FROST DEPTH-36"
OVER-EX & REPLACE- COL & WALL F		847.11	CY				OVER-EX/REPLACE/DISPOSE 36
FOUNDATION EXCAV/BF-DISPOSE UN		847.11	CY				DISPOSE OFFSITE
FDN EXCAV-COLUMN & WALL FOOT		500.89	CY	\$ 8.50	\$ 4,258 \$ 35,763		EXCAV TO FROST DEPTH-36"
OVER-EX & REPLACE- COL & WALL F		500.89	CY	\$ 71.40 \$ 13.00	4 00,1.00		OVER-EX/REPLACE/DISPOSE 36
FOUNDATION EXCAV/BF-DISPOSE UN	ISUITABLE-INTER	500.89	CY		4 0,012		DISPOSE OFFSITE
IMPORTED FILL TO SLAB ON GRADE	· · ·	2,666.67	CY	\$ 62.00			ASSUME 36" STRUC'L FILL
DRAINAGE BASE TO SLABS ON GRAI		20,000.00	SF	\$ 1.38	4 21,000		6" CLASS 6 BASE
VAPOR BARRIER TO SLABS ON GRAD	DE.	22,000.00	SF	\$ 0.68	\$ 14,960		15 MIL STEGO
						_	
SUBTOTAL- 020000 SITEV	VORK-BUILDING				\$ 354,932	\$ 6.34	
022400 - DEEP FOUNDATIONS					1.		
HELICAL PILES- MOBILIZE/DEMOB			DY	\$ 4,500.00	s -		
HELICAL PILES- 50 FT BID LENGTH			LF	\$ 1,650.00	\$ -		N/A-EXCLUDED
PILE TESTING			LS	\$ 5,000.00	\$ -		
LAYOUT			HRS	\$ 72.00	s -		
SUBTOTAL- 022400 DEEP	FOUNDATIONS				\$ -	\$ -	
					1		
030000 - CONCRETE					1		
MAT FOUNDATIONS- STAIR/ELEV CO		168.93	CY	\$ 440.00	\$ 74,331		36" TH MAT FOUNDATIONS
CONCRETE FOUNDATIONS-PERIM W.	ALL FOOTINGS	60.82	CY	\$ 490.00	\$ 29,803		24" X 12"
CONCRETE FOUNDATIONS-PERIM ST	EM WALLS	80.89	CY	\$ 745.00	\$ 60,266		16" X 24" H
CONCRETE FOUNDATIONS-COL PILL	ASTERS AT WALLS	34.00	EA	\$ 390.00	\$ 13,260		
CONCRETE FOUNDATIONS-INTER W.	ALL FOOTINGS	15.56	CY	\$ 490.00	\$ 7,622		24" X 12"
CONCRETE FOUNDATIONS-INTER ST	EM WALLS	10.42	CY	\$ 780.00	\$ 8,129		8" X 24" H
CONCRETE FOUNDATIONS-COL FOO	TINGS	169.24	CY	\$ 490.00	\$ 82,930		8' X 8' X 2' -COL FTGS
CONCRETE FOUNDATIONS-COL FOO	TINGS	223.61	CY	\$ 490.00	\$ 109,569		10' X 10' X 2.5' -COL FTGS
CONCRETE TIE BEAMS AT BRACE FR	AMES		CY	\$ 710.00	s -		N/A-SEE MAT FDNS-CORES
CONCRETE CORE/SHEAR WALLS-10"	TH	381.17	CY	\$ 985.00	\$ 375,451		
ELEVATOR PITS		3.00	EA	\$ 8,000.00	\$ 24,000		
STAIRS ON GRADE		2.00	EA	\$ 5,500.00	\$ 11,000		
MISC PITS/FOUNDATIONS		1.00	LS	\$ 15,000.00	\$ 15,000		
SLAB ON GRADE-5" TH		20,000.00	SF	\$ 6.60	\$ 132,000		
SLAB ON METAL DECK-6.5" TH		33,508.00	SF	\$ 6.40	\$ 214,451		2ND/3RD FLOORS
SLAB ON METAL DECK-6.5" TH		2,500.00	SF	\$ 6.40	\$ 16,000		ROOF PENTHOUSE
METAL PAN STAIR FILL		400.00	SF	\$ 5.80	\$ 2,320		LOBBY STAIRS
METAL PAN STAIR FILL		1,600.00	SF	\$ 5.80	\$ 9,280		EGRESS STAIRS
CONCRETE EQUIP PADS		1.00	LS	\$ 6,000.00	\$ 6,000		
STE/GROUT PIPE BOLLARDS		4.00	EA	\$ 325.00	\$ 1,300		VEH SALLYPORT
SUBTOTAL- 030000 CONC	RETE				\$ 1,192,712	\$ 21.29	
040000 - MASONRY & STONE WOR	K						
EXTERIOR WALLS-VENEER -4" FACE	BRICK	31,312.00	SF	\$ 33.50	\$ 1,048,952		BRICK VENEER- 50% WALL AREA
MISC PRECAST/CAST STONE TRIM		1.00	LS	\$ 75,000.00	\$ 75,000		
INTERIOR CMU WALLS-8" TH		4,000.00	SF	\$ 22.60	\$ 90,400		SECURE / HOLDING AREAS
SUBTOTAL: 040000 MASO	NRY				\$ 1,214,352	\$ 21.68	
050000 - METALS							
STRUCTURAL STEEL COLUMNS-2.0 #	ŧ/SF	56.01	TNS	\$ 2,350.00	\$ 131,628		
STRUCTURAL STEEL FRAMING-WF FI							
FRAMING-8.0#/SF		224.05	TNS	\$ 2,260.00	\$ 506,348		
STEEL WF FRAMING- ROOF-3.0#/SF		10.00	TNS	\$ 2,260.00	\$ 22,600		PENTHOUSE ROOF
STEEL JOIST FRAMING- ROOF-3.5#/S	SF .		TNS	\$ 1,675.00	s -		N/A
				,		l	/
	TE FRAMING		TNS	\$ 2,385,00	S -		N/A-SEE SHEAR WALLS
STRUCTURAL STEEL FRAMING- BRAC STRUCTURAL STEEL FRAMING- HUN		-	TNS	\$ 2,385.00	\$ -		N/A-SEE SHEAR WALLS

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL
BGSF 56,012.00

DESCRIPTION	QTY	U/M	UNIT PRICE		TOTALS	COST/SF	NOTES/COMMENTS
BUILDING ADDITION							
050000 - METALS							
STRUCTURAL STEEL- ERECTION	30.00	DY	\$ 6,150.00		\$ 184,500		
METAL FLOOR DECKING - 2"/18 GAGE	39,608.80	SF	\$ 2.80		\$ 110,905		
METAL ROOF DECKING - 2"/18 GAGE	22,004.40		\$ 2.60		\$ 57,211		
CANOPY FRAMING-ALLOW	480.00	SF	\$ 45.00		\$ 21,600		FRAMING & DECK
STEEL PAN STAIRS- LOBBY	56.00	RI	\$ 850.00		\$ 47,600		
STEEL PAN STAIRS- EGRESS	252.00	RI	\$ 685.00		\$ 172,620		
MISC METALS	56,012.00	SF	\$ 3.75		\$ 210,045		
BUILDING EXPANSION JOINTS	513.00	LF	\$ 120.00		\$ 61,560		FLOORS
BUILDING EXPANSION JOINTS	200.00		\$ 85.00		\$ 17,000		EXTER WALLS
BOLDING EXPANSION JOINTS	200.00	Li	3 03.00		3 17,000		LATER WALLS
SUBTOTAL- 050000 METALS					\$ 1,604,868	\$ 28.65	
SOBIGIAE GOODO METAES					3 1,004,000	\$ 20.03	
060000 - WOOD & PLASTICS							
PERIMETER ROOF BLOCKING-TREATED 2X	2,456.00	LF	\$ 4.50		\$ 11,052		
	997.00	LF	\$ 4.50 \$ 6.50		\$ 6,481		
PERIMETER COPING NAILERS/SHIMS		SF					
PLYWOOD SHEATHING-BACK SIDE OF PARAPETS	1,994.00				4 0)		
MISC BLOCKING/NAILERS-INTERIOR	56,012.00	SF	\$ 0.55		\$ 30,807		
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK		SF	\$ 4.50		\$ 252,054		GENERAL MW ALLOWANCE
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORE		EA	\$150,000.00		\$ 450,000		COURTROOMS/JUDGES CHAME
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORE	1.00	EA	\$150,000.00		\$ 150,000	-	COMMISSION CHAMBERS
	-				+		
SUBTOTAL- 060000 WOOD & PLASTICS	<u> </u>				\$ 904,182	\$ 16.14	
070000 - THERMAL & MOISTURE PROTECTION							
FOUNDATION INSULATION-2" TH RIGID	1,564.00	SF	\$ 2.80		\$ 4,379		
PERIMETER FDN DAMPPROOFING	1,564.00	SF	\$ 2.10		\$ 3,284		
HORIZONTAL DECK WATERPROOFING SYSTEM-ROOF							
TERRACE	-	SF	\$ 16.00		\$ -		N/A-EXCLUDED
BUILDING INSULATION-TO EXTER WALLS	38,080.00	SF	\$ 2.00		\$ 76,160		2" SPRAY-FOAM
CI WEATHER BARRIER/INSULATION- XARMOR-2" TH	38,080.00	SF	\$ 5.25		\$ 199,920		
METAL WALL PANELS-ACM -4MM TH	-	SF	\$ 55.00		s -		EXTERIOR WALLS- 20%
METAL WALL PANELS- HVAC EQUIP SCREENWALL		SF	\$ 16.00		s -		N/A-EXCLUDED
STUCCO PLASTER WALL VENEER	31,312.00	SF	\$ 17.00		\$ 532,304		EXTERIOR WALLS- 50%
STUCCO VENEER PLASTER SOFFITS	480.00	SF	\$ 15.10		\$ 7,248		CANOPY SOFFITS
MEMBRANE ROOFING- 60 MIL EPDM	20,000.00	SF	\$ 22.00		\$ 440,000		MAIN UPPER ROOF
MEMBRANE ROOFING- 60 MIL EPDM	480.00	SF	\$ 24.00		\$ 11,520		CANOPY ROOFS
PEDESTAL MOUNTED ROOF PAVERS-ROOF TERRACE	-	SF	\$ 36.00		s -		N/A-EXCLUDED
ROOF MOUNTED SKYLKIGHTS	-	EA	\$ 1,525.00		s -		N/A-EXCLUDED
ROOF ACCESS HATCH	1.00	EA	\$ 2,410.00		\$ 2,410		
APPLIED FIREPROOFING	56,012.00	SF	\$ 3.55		\$ 198,843		
CAULKING & SEALANTS	56,012.00		\$ 0.60		\$ 33,607		
	00,000						
SUBTOTAL- 070000 THERMAL & MOISTURE	PROTECTION				\$ 1,509,675	\$ 26.95	
					7 -,0.00,000		
080000 - DOORS & WINDOWS							
DOORS/FRAMES/HW-INTERIOR	185.00	EA	\$ 2,050.00		\$ 379,250		
DOORS/FRAMES/HW-INTERIOR DOORS/FRAMES/HW-EXTERIOR	6.00		\$ 2,350.00		\$ 14,100		
DOORS/FRAMES/HW-EATERIOR DOORS/FRAMES/HW-INTERIOR	12.00		\$ 3,500.00		\$ 42,000		ADD FOR SECURITY RATED
OVERHEAD DOORS- COILING/INSUL/MOTOR OP	2.00	EA	\$ 12,000.00		\$ 24,000		HIGH SPEED COILING DOORS
MISC INTERIOR WINDOWS/GLAZING	56,012.00				\$ 24,000		INGII SPEED CUILING DOOKS
		SF	\$ 0.55 \$ 56.00				200/ OF FALL ASS.
ALUM STOREFRONTS/WINDOWS-FIXED	11,424.00	SF					30% OF EXTER WALL AREA
ALUM CURTAINWALL SYSTEM	3,808.00	SF	\$ 88.00		\$ 335,104		10% OF EXTER WALL AREA
DOORS/FRAMES/HW-STOREFRONTS	8.00	EA	\$ 3,400.00		\$ 27,200	-	EXTERIOR ENTRIES
AUTO DOOR OPERATORS	3.00	EA	\$ 1,550.00		\$ 4,650		MAIN ENTRY
ALUM LOUVERED SUNSHADES- WALL MTD-FIXED	600.00	LF	\$ 190.00		\$ 114,000	-	ALLOW 200 LF/FLOOR
	-				+		
					\$ 1,610,855	\$ 28.76	
SUBTOTAL- 080000 DOORS & WINDOWS				1 1	1	1	1
SUBTOTAL- 080000 DOORS & WINDOWS							
SUBTOTAL: 080000 DOORS & WINDOWS							
SUBTOTAL: 080000 DOORS & WINDOWS							
SUBTOTAL- 080000 DOORS & WINDOWS							

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL
BGSF 56,012.00

DESCRIPTION		QTY	U/M	UNIT PRICE	1	TOTALS	COST/SF	NOTES/COMMENTS
BUILDING ADDITION								
090000 - FINISHES								
EXTERIOR WALLS-6" LG FRAMING/S	HEATHING/DW	38,080.00	SF	\$ 14.40	s	548,352		
CANOPY SOFFIT/FASCIA FRAMING		736.00	SF	\$ 18.00	s	13,248		CANOPY SOFFITS/FASICAS
INTER PTNS/ FLOOR/WALL/BASE/O		56,012.00	SF	\$ 40.00	s	2,240,480		
FINISHES UPGRADES- COURTROOM		3.00	EA	\$100,000.00	s	300,000		
FINISHES UPGRADES- COMMISSION		1.00	EA	\$100,000.00	s	100,000		
FINISHES UPGRADES- 1ST FL LOBBY		1.00		\$125,000.00	\$	125,000		
				4 - 2 - 3 0 - 0 - 0 - 0	Ť	,		
SUBTOTAL- 090000 FINIS	SHES				\$	3,327,080	\$ 59.40	
					T	-,,-		
DIVISION 100000 - SPECIALTIES								
MISCELLANEOUS SPECIALTIES		56,012.00	SF	\$ 3.80	\$	212,846		
VISUAL DISPLAY SURFACES		56,012.00	SF	s -	T	INCLUDED		
TOILET PTNS/TOILET ACCESSORIES		56,012.00	SF	s -		INCLUDED		
WALL & CORNER PROTECTION		56,012.00	SF	s -		INCLUDED		
FIRE PROTECTION CABINETS/EXTIN	IGUISHERS	56,012.00	SF	s -		INCLUDED		
ROOM ID SIGNAGE/WAYFINDING		56,012.00	SF	s -		INCLUDED		
LOCKERS		56,012.00	SF	s -		INCLUDED		
STORAGE SHELVING			LS	s -	s			N/A-EXCLUDED
STEELING STEELING		-			,			.,
SUBTOTAL- 100000 SPEC	IALTIES				s	212,846	\$ 3.80	
SOBIOTAL TOUGHT SPEC					1	414,040	2 3.00	
DIVISION 110000 - EQUIPMENT								
MISCELLANEOUS EQUIPMENT		56,012.00	SF	\$ 0.25	\$	14,003		
SECURITY EQUIPMENT- XRAY	1	30,012.00	or.	9 0.23	3	14,003		
MACHINES/MAGNETOMETER		<u> </u>	LS	s -	\$			N/A-OWNER FF & E
RESIDENTIAL APPLIANCES		5.00	EA	\$ 4,500.00	\$	22,500		EMPL BREAK/COFFEE RMS
FOOD SERVICE EQUIPMENT-COMME	RCIAL	-	LS	s -	\$	-		N/A-EXCLUDED
LAUNDRY EQUIPMENT			LS	s -	\$			N/A-EXCLUDED
MEDICAL EQUIPMENT		-	LS	s -	\$			N/A-OWNER FF & E
AV EQUIPMENT-			LS	s -	s			N/A-OWNER FF & E
FACILITY MAINT EQUIPMENT			LS	s -	s			N/A-OWNER FF & E
LOADING DOCK EQUIPMENT			LS	s -	s			N/A-EXCLUDED
SUBTOTAL- 110000 EQUI	PMENT				\$	36,503	\$ 0.65	
					T			
DIVISION 120000 - FURNISHINGS								
FLOOR/ENTRY MATS		1.00	LS	\$ 2,000.00	\$	2,000		
WINDOW TREATMENTS-ROLLER SH	ADES/BLINDS	11,424.00	SF	\$ 21.00	s	239,904		
DEETENTION FURNISHINGS & EQUI		1.00	LS	\$ 65,000.00	s	65,000		
					Ť			
SUBTOTAL- 120000 FURN	JISHINGS				s	306,904	\$ 5.48	
55215112 125360 FGR					Ť	300,301	- 5.10	
DIVISION 130000 - SPECIAL CONS	TRUCTION							
PRE-ENGINEERED METAL BUILDING		-	SF	s -	s			N/A-EXCLUDED
X-RAY PROTECTION		-	SF	s -	S	-		N/A-EXCLUDED
PHOTOVOLTAIC POWER SYSTEM		-	LS	s -	\$	-		N/A-EXCLUDED
STATE OF THE STATE					1			
SUBTOTAL- 130000 SPEC	IAI CONSTRUCTO	N.			s		ς .	
SUBTUTAL TSUUUU SPEC	INL CONSTRUCTIO	113			,			
DIVISION 140000 - CONVEYING ST	VSTEMS				+			
MACHINE-ROOM-LESS TRACTION E		3.00	EA	\$155,000.00	s	465,000		
HC WHEEL CHAIR LIFT	L VATOR-3 310P	1.00		\$ 20,000.00	S	20,000		LOBBY
IIC WILLEL CHAIR LIFT		1.00	LA	20,000.00	3	20,000		LOBBI
SUBTOTAL- 140000 CON	VEVING SVETEMS				\$	485,000	\$ 8.66	
SUBTUTAL: 140000 CON	VELING SISTEMS				3	485,000	3 8.66	
					+			
					+			
					+			
					+			
					+			
					+			
					+		-	
					+		-	
	l			L			l	

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL
BGSF 56,012.00

DESCRIPTION		QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
BUILDING ADDITION							
DIVISION 210000 - FIRE SUPP	PRESSION SYSTEMS						
FIRE SPRINKLERS- WET PIPE		56,012.00	SF	\$ 3.95	\$ 221,247		
FIRE SPRINKLERS- IN RACK SYS	TEM	50,012.00	SF	s -	s -		N/A-EXCLUDED
) I EM			s -	s -		
FIRE SPRINKLERS- DRY TYPE	DANI A OFFICE		SF	s -	3 .		N/A-EXCLUDED
FIRE SUPPRESSION SYSTEM- CL			SF		2 -		N/A-EXCLUDED
FIRE SPRINKLERS- FIRE/JOCKE		-	LS	s -	\$ -		N/A-EXCLUDED
FIRE SPRINKLERS- WATER STO	RAGE TANK	-	LS	s -	\$ -		N/A-EXCLUDED
SUBTOTAL- 210000	FIRE SUPPRESSION SYS	TEMS			\$ 221,247	\$ 3.95	
DIVISION 230000 PLUMBING	SYSTEMS						
PLUMBING EQUIPMENT		56,012.00	SF	\$ 22.00	\$ 1,232,264		
DOMESTIC WATER		56,012.00	SF		INCLUDED		
STORM / ROOF DRAINAGE		56,012.00		s -	INCLUDED		
SANITARY SEWER-UG		56,012.00		7	INCLUDED		
	,						
WASTE & VENT- ABOVE GRADE		56,012.00			INCLUDED		
NAT GAS PIPING		56,012.00			INCLUDED		
FIXTURES		56,012.00			INCLUDED		
PLUMBING INSULATION		56,012.00	SF		INCLUDED		
SUBTOTAL- PLUMBIN	IG SYSTEMS				\$ 1,232,264	\$ 22.00	
DIVISION 24 HVAC SYSTEMS							
HVAC SYSTEM- ROOF TOP PAC	KAGE SYS	56,012.00	SF	\$ 52.00	\$ 2,912,624		
	KAGE 313			3 32.00			
EQUIPMENT		56,012.00			INCLUDED		
DUCTWORK & ACCESSORIES		56,012.00			INCLUDED		
HVAC HYDRONIC PIPING SYS		56,012.00		s -	INCLUDED		
HVAC INSULATION		56,012.00			INCLUDED		
HVAC CONTROLS		56,012.00	SF		INCLUDED		
TEST & BALANCE		56,012.00	SF		INCLUDED		
GEOTHERMAL WELL FIELD		-	LS	s -	INCLUDED		N/A-EXCLUDED
SUBTOTAL- HVAC SY	/CTEMC				\$ 2,912,624	\$ 52.00	
SOBTOTILE ITTIES	J.L.I.O				J 2,512,021	3 32.00	
DUNCTON 200000 FI FOTDIC	I CVCTPMC						
DIVISION 260000 ELECTRICA	IL STSTEMS						
ELECTRICAL WORK		56,012.00		\$ 48.00	\$ 2,688,576		
EQUIPMENT- SECONDARY		56,012.00	SF	s -	INCLUDED		
SITE ELECTRICAL-LIGHTING/P	OWER	1.00	LS	\$100,000.00	\$ 100,000		
EMERGENCY GENERATOR		1.00	LS	\$ 75,000.00	\$ 75,000		
POWER DISTRIBUTION		56,012.00	SF	s -	INCLUDED		
LIGHTING & CONTROLS		56,012.00		s -	INCLUDED		
FIRE ALARM SYSTEM		56,012.00		s -	INCLUDED		
		1.00					
SECURITY ELECTRONICS	ICH IN			\$150,000.00			
DATA/COMMUNICATIONS-ROU	JGH IN	56,012.00	SF	s -	INCLUDED		
ACCESS CONTROL-ROUGH IN		56,012.00	SF	s -	INCLUDED		
SECURITY SYS-ROUGH IN		56,012.00		s -	INCLUDED		
AV SYSTEM-ROUGH IN		56,012.00	SF	s -	s -		N/A-EXCLUDED
SUBTOTAL- ELECTRI	CAL SYSTEMS				\$ 3,013,576	\$ 53.80	
DIVISION 270000 SPECIAL/LY	V SYSTEMS						
DATA / COMMUNICATIONS-WI		56,012.00	SF	\$ 3.45	\$ 193,241		
		3.00	EA	\$ 75,000.00			COURTROOMS
AV SYSTEM-WIRING/DEVICES/					7 ==0,000		
AV SYSTEM-WIRING/DEVICES/		1.00		\$ 75,000.00	\$ 75,000		COMMISSIONER CHAMBERS
AV SYSTEM-WIRING/DEVICES/		7.00		\$ 25,000.00	\$ 175,000		CONF/TRAINING RMS
ACCESS CONTROL SYS-WIRING		56,012.00	SF	\$ 1.10	\$ 61,613		
SECURITY SYS-WIRING/DEVICE	S/EQUIPMENT	56,012.00	SF	\$ 2.30	\$ 128,828		
SUBTOTAL- SPECIAL	/LV SYSTEMS				\$ 858,682	\$ 15.33	
				 			

90 FEASIBILITY STUDY Moffat County Courthouse

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL
BGSF 56,012.00

DESCRIPTION		QTY	U/M	UNIT PRICE		TOTALS	COST/SF	NOTES/COMMENTS
BUILDING ADDITION								
DIVISION 310000 SITE DEVELO	PMENT							
SITE PREPARATION / EROSION &	SEDIMENT CONTROL	-	AC	s -		s -		N/A-SEE SITE DEV ESTIMATE
SITE CLEARING/SITE DEMO			LS	s -		s -		N/A-SEE SITE DEV ESTIMATE
EARTHWORK / SITE GRADING /	CUT & FILL		LS	s -		\$ -		N/A-SEE SITE DEV ESTIMATE
IMPORTED BASE COURSE- PAVE	MENT BASES		LS	s -		\$ -		N/A-SEE SITE DEV ESTIMATE
ASPHALT PAVING			LS	s -		\$ -		N/A-SEE SITE DEV ESTIMATE
DOMESTIC/FIRE WATER SERVIC			LS	s -		\$ -		N/A-SEE SITE DEV ESTIMATE
STORM SEWER -MANHOLE/DRA			LS	s -		\$ -		N/A-SEE SITE DEV ESTIMATE
SANITARY SEWER SERVICE-MAN	HOLES/PIPING	-	LS	S -		s -		N/A-SEE SITE DEV ESTIMATE
NATURAL GAS SERVICE			LS	s -		\$ -		N/A-SEE SITE DEV ESTIMATE
SITE CONCRETE-FLATWORK			LS	s -		\$ -		N/A-SEE SITE DEV ESTIMATE
SITE CONCRETE-MISC			LS	s -		\$ -		N/A-SEE SITE DEV ESTIMATE
SITE FURNISHINGS- TRASH RECI	EP/BENCHES		LS	s -		\$ -		N/A-SEE SITE DEV ESTIMATE
LANDSCAPING			LS	S -		\$ -		N/A-SEE SITE DEV ESTIMATE
SUBTOTAL- SITE DEVI	ELOPMENT					\$ -	\$ -	
SUBTOTAL-I	DIRECT COST-					\$20,998,301	\$ 374.89	

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL
BGSF 50,864.00

	DESCRIE	TION			QTY	U/M	UNIT PRICE		TOTALS	COS	T/SF	NOTES/COMMENTS
	NG COUR		DING-RE	EMODEL								
	- SITEWO											
	OR DEMO					LS	\$ -	s				
	E FLOORIN				50,864.00		\$ 6.00	\$	305,184			
	E DOORS/			K.	50,864.00	SF	\$ 0.55	s	27,975			
	TERIOR R				50,864.00		\$ 1.75	s	89,012			
	TERIOR R			A.K.	50,864.00	SF	\$ 0.45	s	22,889			
	T/REMOVI				500.00	SF	\$ 12.00	s	6,000			NEW U/G PLUMBING
	OR DEMO				300.00	LS	\$ -	s	0,000			NEW U/G FLUMBING
	E EXTERIO			ZINIC	1.00	LS	\$ 35,000.00	\$	25.000			
					1.00				35,000			
CUI NE	W OPENIN	GS IN EX	MASONR	Y WALLS	1.00	LS	\$ 15,000.00	\$	15,000			
								٠.		-		
	SUBTOT	AL- 0200	00 SITEV	WORK-EXISTING CO	NDTIONS			\$	501,060	\$	9.85	
								_				
	- SITEWO											
BUILDIN	NG REMO	DEL****	****			LS	\$ -	\$				
MISC EX	CAV/BF F	OR STRU	CTURAL I	MPROVMENTS	1.00	LS	\$ 35,000.00	\$	35,000			
_	SUBTOT	AL- 0200	000 SITEV	WORK-BUILDING				\$	35,000	\$	0.69	
022400	- DEEP F	OUNDAT	IONS									
	L PILES- M				-	DY	\$ 4,500.00	s				
	L PILES- 50					LF	\$ 1,650.00	S				N/A-EXCLUDED
PILE TES		J I I DID	LLNGIH			LS	\$ 5,000.00	\$				IN/A-LACLUDED
LAYOUT					-	HRS	\$ 72.00	\$				
								٠.		-		
	SUBTOT	AL- 0224	00 DEEP	FOUNDATIONS				\$		\$	-	
								_				
	- CONCR											
	NG REMO					LS	\$ -	\$				
SLAB ON	V GRADE-	4" TH-PAT	TCH BACE	K	500.00	SF	\$ 11.85	\$	5,925			NEW U/G PLUMBING
MISC CO	ONCRETE !	REPAIRS/	UPGRADI	ES	50,864.00	SF	\$ 7.50	\$	381,480			CODE COMPLIANCE UPGRADI
	SUBTOT	AL- 0300	00 CONO	CRETE				s	387,405	\$	7.62	
	SUBTOT	AL- 0300	00 CON	CRETE				\$	387,405	\$	7.62	
040000								\$	387,405	s	7.62	
	- MASON	RY & ST	ONE WOR			LS	s -	s	387,405	s	7.62	
BUILDIN	- MASON	RY & STO	ONE WOF	RK	-	LS	\$ -	s	387,405	s	7.62	
BUILDIN EXTERIO	OR WALLS	RY & STO	ONE WOF		1.00			s	-	s	7.62	ALLOW
BUILDIN EXTERIO 1918 BL	- MASON NG REMOI OR WALLS DGS	RY & STO DEL******	ONE WOF	RK IG BRICK-1962 &	1.00	LS SF	\$ -		387,405 - 65,000	s	7.62	ALLOW
BUILDIN EXTERIO 1918 BL CUT/PA	- MASON NG REMOI OR WALLS DGS	RY & STO DEL****** REPOINT	ONE WOR	RK	1.00	SF			-	s	7.62	ALLOW
BUILDIN EXTERIO 1918 BL CUT/PA	OF WALLS DGS TCH- NEW	RY & STO DEL****** REPOINT	ONE WOR	RK IG BRICK-1962 &		SF	\$ 65,000.00	s	- 65,000	\$	7.62	
BUILDIN EXTERIO 1918 BL CUT/PA	- MASON NG REMOI OR WALLS DGS TCH- NEW NRY WALL	RY & STO DEL****** - REPOINT / OPENING .S-1918 F	ONE WOR	RK 		SF	\$ 65,000.00	s	65,000	s		
BUILDIN EXTERIO 1918 BL CUT/PA	- MASON NG REMOI OR WALLS DGS TCH- NEW NRY WALL	RY & STO DEL****** REPOINT	ONE WOR	RK 		SF	\$ 65,000.00	s	- 65,000	\$	1.97	
EXTERIO 1918 BL CUT/PA' B MASO	DE WALLS DGS TCH- NEW NRY WALLS SUBTOT	RY & STO DEL****** - REPOINT / OPENING .S-1918 E	ONE WOR	RK 		SF	\$ 65,000.00	s	65,000	\$		
EXTERIO 1918 BL CUT/PA B MASOI	DE WALLS DGS TCH- NEW NRY WALL SUBTOT	RY & STO DEL******* - REPOINT / OPENING _S-1918 E	ONE WOR	RK 		SF LS	\$ 65,000.00 \$ 35,000.00	\$ \$	65,000	\$		
EXTERIO 1918 BL CUT/PA B MASOI 050000 BUILDIN	O - MASON NG REMODE DR WALLS DGS TCH- NEW NRY WALL SUBTOT O - METAL	RY & STUDEL****** REPOINT OPENING S-1918 E AL- 0400 S DEL******	DNE WOF	IG BRICK-1962 & STING INTERIOR L- DONRY	1.00	SF LS	\$ 65,000.00 \$ 35,000.00	\$ \$ \$	65,000 35,000 100,000	s		ALLOW
BUILDIN EXTERIC 1918 BL CUT/PA B MASOI 050000 BUILDIN MISC ST	- MASON NG REMOD OR WALLS DGS TCH- NEW NRY WALL SUBTOT - METAL NG REMOD RUCTURA	RY & STUDEL****** REPOINT OPENING S-1918 E AL- 0400 S DEL******	DNE WOF	RK 	1.00 - 50,864.00	LS LS SF	\$ 65,000.00 \$ 35,000.00 \$ - \$ 15.00	\$ \$ \$ \$	65,000 35,000 100,000	s		
EXTERIO 1918 BL CUT/PA B MASOI 050000 BUILDIN	- MASON NG REMOD OR WALLS DGS TCH- NEW NRY WALL SUBTOT - METAL NG REMOD RUCTURA	RY & STUDEL****** REPOINT OPENING S-1918 E AL- 0400 S DEL******	DNE WOF	IG BRICK-1962 & STING INTERIOR L- DONRY	1.00	LS LS SF	\$ 65,000.00 \$ 35,000.00	\$ \$ \$	65,000 35,000 100,000	\$		ALLOW
BUILDIN EXTERIC 1918 BL CUT/PA B MASOI 050000 BUILDIN MISC ST	- MASON NG REMOI DR WALLS DGS TCH- NEW NRY WALI SUBTOT	RY & STO DEL************************************	DNE WOF	RK IG BRICK-1962 & STING INTERIOR L- DNRY ES/MODIFICATIONS	1.00 - 50,864.00	LS LS SF	\$ 65,000.00 \$ 35,000.00 \$ - \$ 15.00	\$ \$ \$ \$ \$ \$ \$ \$	65,000 35,000 100,000 - 762,960 178,024		1.97	ALLOW
BUILDIN EXTERIC 1918 BL CUT/PA B MASOI 050000 BUILDIN MISC ST	- MASON NG REMOI DR WALLS DGS TCH- NEW NRY WALI SUBTOT	RY & STUDEL****** REPOINT OPENING S-1918 E AL- 0400 S DEL******	DNE WOF	RK IG BRICK-1962 & STING INTERIOR L- DNRY ES/MODIFICATIONS	1.00 - 50,864.00	LS LS SF	\$ 65,000.00 \$ 35,000.00 \$ - \$ 15.00	\$ \$ \$ \$	65,000 35,000 100,000			ALLOW
BUILDIN EXTERIC 1918 BL CUT/PA B MASOI 050000 BUILDIN MISC ST MISC ME	- MASON NG REMOI DR WALLS DGS TCH- NEW NRY WALL SUBTOT - METAL: NG REMOI RUCTURA ETALS SUBTOT	RY & STO DEL****** - REPOINT // OPENIN/ .S-1918 E AL- 0400 S DEL***** - L. REINF/	DNE WOF F EXISTIN GS IN EXI LLDG OO MASC OO META	RK IG BRICK-1962 & STING INTERIOR L- DNRY ES/MODIFICATIONS	1.00 - 50,864.00	LS LS SF	\$ 65,000.00 \$ 35,000.00 \$ - \$ 15.00	\$ \$ \$ \$ \$ \$ \$ \$	65,000 35,000 100,000 - 762,960 178,024		1.97	ALLOW
BUILDIN EXTERIC 1918 BL CUT/PA B MASOI 050000 BUILDIN MISC ST MISC ME	- MASON NG REMOI DR WALLS DGS TCH- NEW NRY WALI SUBTOT	RY & STO DEL****** - REPOINT // OPENIN/ .S-1918 E AL- 0400 S DEL***** - L. REINF/	DNE WOF F EXISTIN GS IN EXI LLDG OO MASC OO META	RK IG BRICK-1962 & STING INTERIOR L- DNRY ES/MODIFICATIONS	1.00 - 50,864.00	LS LS SF	\$ 65,000.00 \$ 35,000.00 \$ - \$ 15.00	\$ \$ \$ \$ \$ \$ \$ \$	65,000 35,000 100,000 - 762,960 178,024		1.97	ALLOW
BUILDIN EXTERIC 1918 BL CUT/PA B MASOI 050000 BUILDIN MISC ST MISC ME	- MASON NG REMOI DR WALLS DGS TCH- NEW NRY WALL SUBTOT - METAL: NG REMOI RUCTURA ETALS SUBTOT	RY & STO DEL***** REPOINT OPENING S-1918 E AL- 0400 S DEL**** AL REINF AL- 0500 & PLAST	DNE WOF F EXISTIN GS IN EXI LLDG 1000 MASC UPGRADI 1000 META	RK IG BRICK-1962 & STING INTERIOR L- DNRY ES/MODIFICATIONS	1.00 - 50,864.00	LS LS SF	\$ 65,000.00 \$ 35,000.00 \$ - \$ 15.00	\$ \$ \$ \$ \$ \$ \$ \$	65,000 35,000 100,000 - 762,960 178,024		1.97	ALLOW
BUILDIN EXTERIC 1918 BL CUT/PA B MASOI 050000 BUILDIN MISC ST MISC ME 060000 BUILDIN	- MASON NG REMOID OR WALLS DGS TCH- NEW NRY WALI SUBTOT - METAL: NG REMOI RUCTURA ETALS SUBTOT	RY & STO DEL***** REPOIN' OPENING.S-1918 F AL- 0400 S DEL**** L REINF/ AL- 0500 & PLAST. DEL*****	DNE WOR F EXISTIN GS IN EXI BLDG BOO MASC UPGRADI BOO META CCS	IX IG BRICK-1962 & STING INTERIOR L- INRY ES/MODIFICATIONS ALS	1.00 - 50,864.00	LS LS SF SF	\$ 65,000.00 \$ 35,000.00 \$ - \$ 15.00 \$ 3.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$	65,000 35,000 100,000 - 762,960 178,024		1.97	ALLOW
BUILDIN EXTERIC 1918 BL CUT/PA B MASOI 050000 BUILDIN MISC ST MISC ME 060000 BUILDIN PERIMET	I- MASON NG REMOID OR WALLS DGS TCH- NEW NRY WALL SUBTOT I- METAL NG REMOI SUBTOT SUBTOT SUBTOT I- WOOD NG REMOI FER ROOF	RY & STODEL***** - REPOIN' / OPENING.S-1918 F AL- 0400 S DEL**** L REINF/ AL- 0500 & PLAST. DEL**** BLOCKIN	DNE WOR F EXISTIN GS IN EXIBLDG OOO MASC OOO META ICS OOO META ICS OOO META ICS	G BRICK-1962 & STING INTERIOR L- DNRY ESS/MODIFICATIONS MLS ED 2X	50,864.00 50,864.00	LS SF SF SF	\$ 65,000.00 \$ 35,000.00 \$ - \$ 15.00 \$ 3.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$. 65,000 35,000 100,000 - 762,960 178,024 940,984		1.97	ALLOW
BUILDIN EXTERIC 1918 BL CUT/PA B MASOI 050000 BUILDIN MISC ST MISC ME 060000 BUILDIN PERIMET	- MASON NG REMOID OR WALLS DGS TCH- NEW NRY WALL SUBTOT - METAL NG REMOID RUCTURA ETALS SUBTOT - WOOD NG REMOID TER ROOF	RY & STUDEL***** - REPOINT - OPENING - OPENI	DNE WOE POSSIN EXISTIN GS IN EXISTIN OOO MASC UPGRADI OOO META ICS IG-TREAT RS/SHIMS	RK IG BRICK-1962 & STING INTERIOR L- INTY ES/MODIFICATIONS MLS ED 2X	1.00 - 50,864.00 50,864.00	LS SF SF LS LF LF LF	\$ 65,000.00 \$ 35,000.00 \$ 35,000.00 \$ - \$ 15.00 \$ 3.50 \$ 3.50 \$ 4.85 \$ 8.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 65,000 35,000 100,000 762,960 178,024 940,984		1.97	ALLOW
BUILDIN EXTERIC 1918 BL CUT/PA' B MASOI 050000 BUILDIN MISC ST MISC ME 060000 BUILDIN PERIMET PERIMET PLYWOO	SUBTOT SUBTOT SUBTOT SUBTOT - METAL: - ME	RY & STUDEL***** OPENING S-1918 F AL-0400 S DEL**** AREINF/ AL-0500 & PLAST DEL***** BLOCKIN G NAILE HING-BAG	DNE WOF	IX IG BRICK-1962 & STING INTERIOR 1- INTY ES/MODIFICATIONS LS ED 2X S OF PARAPETS	50,864.00 50,864.00 3,568.00 1,238.00 2,476.00	LS SF SF LS LLF LF LF SF	\$ 65,000.00 \$ 35,000.00 \$ - \$ - \$ 15.00 \$ 3.50 \$ 4.85 \$ 8.00 \$ 1,90	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$. 65,000 35,000 100,000 . 762,960 178,024 940,984 . 17,305 9,904 4,704		1.97	ALLOW CODE COMPLIANCE UPGRADI
BUILDIN EXTERIC 1918 BL CUT/PA' B MASOI 050000 BUILDIN MISC ST MISC ME 060000 BUILDIN PERIMET PERIMET PLYWOO	SUBTOT SUBTOT SUBTOT SUBTOT - METAL: - ME	RY & STUDEL***** OPENING S-1918 F AL-0400 S DEL**** AREINF/ AL-0500 & PLAST DEL***** BLOCKIN G NAILE HING-BAG	DNE WOF	RK IG BRICK-1962 & STING INTERIOR L- INTY ES/MODIFICATIONS MLS ED 2X	1.00 - 50,864.00 50,864.00	LS SF SF LS LLF LF LF SF	\$ 65,000.00 \$ 35,000.00 \$ 35,000.00 \$ - \$ 15.00 \$ 3.50 \$ 3.50 \$ 4.85 \$ 8.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 65,000 35,000 100,000 762,960 178,024 940,984		1.97	ALLOW
BUILDIN EXTERIC 1918 BL CUT/PA' B MASOI 050000 BUILDIN MISC ST MISC ME 0600000 BUILDIN PERIMET PERIMET PLYWOO	- MASON NG REMOJ DR WALLS DGS TCH- NEW NRY WALL SUBTOT - METAL NG REMOJ RUCTURA ETALS SUBTOT - WOOD NG REMOJ FER ROOF FER ROOF FER COPIN DD SHEAT RKK/CASE	RY & STUDEL***** - REPOINT / OPENING.S-1918 E AL- 0400 S DEL**** - L. REINF/ AL- 0500 & PLAST: DEL**** BLOCKIN IG NAILE HING-BAG WORK/AF	DINE WORK TO EXISTIN GOS IN EXI BLDG HOW MASC DOO MASC HOW META HOW M	IX IG BRICK-1962 & STING INTERIOR 1- INTY ES/MODIFICATIONS LS ED 2X S OF PARAPETS	50,864.00 50,864.00 3,568.00 1,238.00 2,476.00	LS SF SF LS LLF LF LF SF	\$ 65,000.00 \$ 35,000.00 \$ - \$ - \$ 15.00 \$ 3.50 \$ 4.85 \$ 8.00 \$ 1,90	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$. 65,000 35,000 100,000 . 762,960 178,024 940,984 . 17,305 9,904 4,704		1.97	ALLOW CODE COMPLIANCE UPGRADI

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL
BGSF 50,864.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
EXISTING COURTS BUILDING-REMODEL						
070000 - THERMAL & MOISTURE PROTECTION						
BUILDING REMODEL*******	-	LS	s -	s -		
BUILDING INSULATION-TO EXTER WALLS	17,928.85	SF	\$ 4.20	\$ 75,301		3" SPRAY FOAM-STUD CAVITIES
METAL WALL PANELS- HVAC EQUIP SCREENWALL		SF	\$ 24.00	ş -		N/A-EXCLUDED
ROOFING- TEAR-OFF EXISTING	22,882.00	SF	\$ 1.75	\$ 40,044		
MEMBRANE ROOFING- 60 MIL TPO- W/INSUL						
FLASHINGS/TRIM	22,882.00	SF	\$ 22.00	\$ 503,404		ROOF REPLACEMENT
ROOF MOUNTED SKYLKIGHTS	-	EA	\$ 1,525.00	s -		N/A-EXCLUDED
ROOF ACCESS HATCH	1.00	EA	\$ 2,410.00	\$ 2,410		
APPLIED FIREPROOFING		SF	s -	s -		N/A-EXCLUDED
CAULKING & SEALANTS	50,864.00	SF	\$ 0.45	\$ 22,889		
CURTOTAL AZONO TURBALA & MOJETUR	PROTECTION			6 644.047	t 12.00	
SUBTOTAL- 070000 THERMAL & MOISTUR	EPROTECTION			\$ 644,047	\$ 12.66	
access pages a suppression						
080000 - DOORS & WINDOWS BUILDING REMODEL********		LS		•		
DOORS/FRAMES/HW-INTERIOR	170.00	EA	\$ 2,050.00	\$ 348,500		
DOORS/FRAMES/HW-INTERIOR DOORS/FRAMES/HW-EXTERIOR		EA	\$ 2,350.00	\$ 9,400		
DOORS/FRAMES/HW-EXTERIOR DOORS/FRAMES/HW-INTERIOR	4.00	EA	\$ 3,500.00	\$ 9,400		N/A- SEE ADDITION
MISC INTERIOR WINDOWS/GLAZING	50,864.00	SF	\$ 0.55	\$ 27,975		N/A- SEE ADDITION
ALUM STOREFRONTS/ WINDOWS-FIXED	5,916.52	SF	\$ 58.00	\$ 343,158		
ALUM STOREFRONTS-FIXED		SF	\$ 60.00	\$ 8,796		ENTRIES
DOORS/FRAMES/HW-STOREFRONTS		EA	\$ 3,400.00	\$ 13,600		EXTERIOR ENTRIES
AUTO DOOR OPERATORS		EA	\$ 1,550.00	\$ 6,200		MAIN ENTRY
ALUM LOUVERED SUNSHADES- WALL MTD-FIXED		LF	\$ 190.00	s -		N/A-EXCLUDED
				•		7,1
SUBTOTAL- 080000 DOORS & WINDOWS				\$ 757,629	\$ 14.90	
090000 - FINISHES						
BUILDING REMODEL*******	-	LS	s -	s -		
EXTERIOR WALLS- FURRING 3 5/8" FRAMING + GYP						
BOARD	17,928.85	SF	\$ 7.35	\$ 131,777		
CANOPY SOFFIT/FASCIA FRAMING & SHEATHING	1,332.00	SF	\$ 18.00	\$ 23,976		ENTRY SOFFITS
INTER PTNS/ FLOOR/WALL/BASE/CEILING FINISHES	50,864.00	SF	\$ 36.00	\$ 1,831,104		
SUBTOTAL- 090000 FINISHES				\$ 1,986,857	\$ 39.06	
DIVISION 100000 - SPECIALTIES		LS	s -	s -		
BUILDING REMODEL********	F0.0C4.00	SF		*		
MISCELLANEOUS SPECIALTIES		SF	\$ 3.00 \$ -			
VISUAL DISPLAY SURFACES	50,864.00 50,864.00	or cr		INCLUDED		
TOILET PTNS/TOILET ACCESSORIES WALL & CORNER PROTECTION	50,864.00	CE.	s -	INCLUDED		
FIRE PROTECTION CABINETS/EXTINGUISHERS		SF	s -	INCLUDED		
ROOM ID SIGNAGE/WAYFINDING	50,864.00	SF	s -	INCLUDED		
LOCKERS	50,864.00	SF	s -	INCLUDED		
STORAGE SHELVING	30,004.00	LS	s -	\$ -		N/A-EXCLUDED
				-		.,
SUBTOTAL- 100000 SPECIALTIES				\$ 152,592	\$ 3.00	
				,	2.30	
DIVISION 110000 - EQUIPMENT						
BUILDING REMODEL*******	-	LS	s -	s -		
MISCELLANEOUS EQUIPMENT	50,864.00	SF	\$ 0.25	\$ 12,716		
RESIDENTIAL APPLIANCES		EA	\$ 4,500.00	\$ 22,500		EMPL BREAK/COFFEE RMS
FOOD SERVICE EQUIPMENT-COMMERCIAL	-	LS	s -	s -		N/A-EXCLUDED
LAUNDRY EQUIPMENT		LS	s -	s -		N/A-EXCLUDED
MEDICAL EQUIPMENT	-	LS	s -	s -		N/A-OWNER FF & E
AV EQUIPMENT-	-	LS	s -	ş -		N/A-OWNER FF & E
FACILITY MAINT EQUIPMENT	-	LS	s -	s -		N/A-OWNER FF & E
LOADING DOCK EQUIPMENT	-	LS	s -	s -		N/A-EXCLUDED
SECURITY EQUIPMENT- XRAY MACHINES/MAGNETOMETER		LS	s -	s -		N/A-OWNER FF & E
MACHINES/ MAGNETOMETER	· ·	LJ				N/A-OHIVER FF & E
CURTOTAL 110000 FOURMENT		 		\$ 35.216	\$ 0.69	
SUBTOTAL- 110000 EQUIPMENT	I	L	l	\$ 35,216	\$ 0.69	

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL
BGSF 50,864.00

DESCRIPTION	-	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
EXISTING COURTS BUILDING-R		ļ					
DIVISION 120000 - FURNISHINGS							
BUILDING REMODEL*******		-	LS	\$ -	\$ -		
FLOOR/ENTRY MATS		1.00	LS	\$ 3,000.00	\$ 3,000		
WINDOW TREATMENTS-ROLLER SE	ADES/BLINDS	5,916.52	SF	\$ 21.00	\$ 124,247		
LOOSE FURNITURE FIXTURES & EQ	JIPMENT	-	LS	s -	s -		N/A-OWNER FF & E
DEETENTION FURNISHINGS & EQU	PMENT	-	LS	s -	s -		N/A-SEE ADDITION
SUBTOTAL- 120000 FUR	NISHINGS				\$ 127,247	\$ 2.50	
DIVISION 130000 - SPECIAL CON	STRUCTION						
BUILDING REMODEL*******		-	LS	\$ -	s -		
PRE-ENGINEERED METAL BUILDING	PACKAGE	-	SF	s -	s -		N/A-EXCLUDED
X-RAY PROTECTION		-	SF	s -	s -		N/A-EXCLUDED
PHOTOVOLTAIC POWER SYSTEM		-	LS	s -	s -		N/A-EXCLUDED
SUBTOTAL- 130000 SPE	IAL CONSTRUCTIO	ON			s -	s -	
DIVISION 140000 - CONVEYING S	YSTEMS						
HYDRAULIC ELEVATOR-2 STOP		1.00	EA	\$100,000.00	\$ 100,000		REPLACE EXISTING UNIT
HC WHEEL CHAIR LIFT	1	- 1.50	EA	\$ -	\$ -		N/A-EXCLUDED
	1				-		.,
SUBTOTAL- 140000 CON	VEVING SVSTEMS				\$ 100,000	\$ 1.97	
30B101AL- 140000 CON					÷ 100,000	g 1.3/	1
DIVISION 210000 FIRE CURRENTS	CION CYCTEMS		 	 			1
DIVISION 210000 - FIRE SUPPRES	DION SISTEMS		10	s -	s -		<u> </u>
BUILDING REMODEL********			LS		-		
FIRE SPRINKLERS- WET PIPE		50,864.00	SF	\$ 4.25	\$ 216,172		
FIRE SPRINKLERS- DRY TYPE	L	<u> </u>	SF	s -	ş -		N/A-EXCLUDED
FIRE SUPPRESSION SYSTEM- CLEAN		-	LS	\$ 45,000.00	\$ -		N/A-EXCLUDED
FIRE SPRINKLERS- IN RACK SYSTEM		-	SF	s -	s -		N/A-EXCLUDED
FIRE SPRINKLERS- FIRE/JOCKEY PU		-	LS	s -	s -		N/A-EXCLUDED
FIRE SPRINKLERS- WATER STORAG	E TANK	-	LS	s -	s -		N/A-EXCLUDED
		L					
SUBTOTAL- 210000 FIRE	SUPPRESSION SYST	ГЕМS	ļ		\$ 216,172	\$ 4.25	
			ļ				
DIVISION 230000 PLUMBING SYS	ΓEMS						
BUILDING REMODEL******		-	LS	\$ -	\$ -		
PLUMBING SYSTEMS		50,864.00	SF	\$ 15.00	\$ 762,960		
PLUMBING EQUIPMENT		50,864.00	SF	s -	INCLUDED		
DOMESTIC WATER		50,864.00			INCLUDED		
STORM / ROOF DRAINAGE		50,864.00		s -	INCLUDED		
SANITARY SEWER-UG		50,864.00			INCLUDED		
WASTE & VENT- ABOVE GRADE	1	50,864.00			INCLUDED		
NAT GAS PIPING	1	50,864.00			INCLUDED		
FIXTURES	1	50,864.00			INCLUDED		
PLUMBING INSULATION	1	50,864.00			INCLUDED		
	1	50,001.00	-		IIICEODED		
SUBTOTAL- PLUMBING S	VSTEMS				\$ 762,960	\$ 15.00	1
SOBIOTAL ILUMBING S			t		- 702,300	J 15.00	<u> </u>
DIVISION 24 HVAC SYSTEMS	 		 				
BUILDING REMODEL********	1		LS	s -	s -		
	1	50.004.00			•		
HVAC SYSTEM-	1	50,864.00		\$ 56.00	. ,,		+
EQUIPMENT	+	50,864.00		 	INCLUDED	-	
DUCTWORK & ACCESSORIES	 	50,864.00	SF		INCLUDED		
	1	50,864.00		S -	INCLUDED		1
HVAC HYDRONIC PIPING SYS		50,864.00	SF		INCLUDED		-
HVAC INSULATION							1
		50,864.00	SF		 INCLUDED		
HVAC INSULATION		50,864.00 50,864.00			\$ -		
HVAC INSULATION HVAC CONTROLS					\$ -		

92 FEASIBILITY STUDY Moffat County Courthouse

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL
BGSF 50,864.00

DESCR	IPTION			QTY	U/M	UNIT I	PRICE		TOTALS	CO	ST/SF	NOTES/COMMENTS
EXISTING COU		DINC PI	MODEL	Q	0/1-1	0.11.1	ILLCE		1011111		51/51	NOTES, COMMENTS
DIVISION 2600												
BUILDING REMO			SIEMS		LS	s		s				
ELECTRICAL WO				50.864.00	SF	_	36.00	ς.	1,831,104			
					SF	s	36.00	2				
EQUIPMENT- SEC				50,864.00	-	-		\$	INCLUDED			
EMERGENCY GET				1.00	LS	\$ 75,0		3	75,000			
POWER DISTRIB				50,864.00	SF	S	-		INCLUDED			
LIGHTING & CO				50,864.00	SF	-	-		INCLUDED			
FIRE ALARM SYS				50,864.00	SF	\$	-	-	INCLUDED			
SECURITY ELECT				•	LS	\$	-	\$				N/A-SEE ADDITION
DATA/COMMUN			N	50,864.00	SF	S	-		INCLUDED			
ACCESS CONTRO		IN		50,864.00	SF	S	-		INCLUDED			
SECURITY SYS-R				50,864.00	SF	S			INCLUDED			
AV SYSTEM-ROU	GH IN			50,864.00	SF	S			INCLUDED			
										-		
SUBTO	TAL- ELEC	TRICAL	SYSTEMS					\$	1,906,104	\$	37.47	
	1											
DIVISION 2700												
LOBBY VESTIBU	ILE ADDIT	ION****	**		LS	\$		\$				
DATA / COMMU	NICATION:	S-WIRING	/DEVICES/EQUIP	50,864.00	SF	s	3.45	S	175,481			
AV SYSTEM-WIR	ING/DEVIC	ES/EQUI	PMENT	50,864.00	SF	S	3.00	\$	152,592			
ACCESS CONTRO	OL SYS-WIR	ING/DEV	ICES/EQUIP	50,864.00	SF	s	1.10	\$	55,950			
SECURITY SYS-W	IRING/DEV	/ICES/EQ	UIPMENT	50,864.00	SF	s	1.00	\$	50,864			
SUBTO	TAL- SPEC	IAL/LV S	SYSTEMS					\$	434,887	\$	8.55	
									-			
DIVISION 3100	00 SITE DI	EVELOPM	ENT									
			DIMENT CONTROL		AC	s		s				N/A-SEE SITE DEV ESTIMATE
SITE CLEARING	I ZIKOS	TOIT U DE	DIMENT CONTROL		LS	s		\$				N/A-SEE SITE DEV ESTIMATE
EARTHWORK / S	CITE CDAD	NG / CU	T & EII I	- :	LS	S	÷	\$	- :			N/A-SEE SITE DEV ESTIMATE
IMPORTED BASE					LS	S	-	S	-			N/A-SEE SITE DEV ESTIMATE
DOMESTIC/FIRE			I DAULU		LS	S	-	S	-			N/A-SEE SITE DEV ESTIMATE
STORM SEWER -			PIPING		LS	S		S				N/A-SEE SITE DEV ESTIMATE
SANITARY SEWE					LS	s	-	S				N/A-SEE SITE DEV ESTIMATE
NATURAL GAS S	ERVICE			-	LS	S		\$	-			N/A-SEE SITE DEV ESTIMATE
SITE CONCRETE	-FLATWOR	K		-	LS	\$	-	\$	-			N/A-SEE SITE DEV ESTIMATE
			OOM/SEATING ARE		LS	S		\$				N/A-SEE SITE DEV ESTIMATE
SITE FURNISHIN	GS- TRASH	RECEP/E	BENCHES	-	LS	S	-	\$				N/A-SEE SITE DEV ESTIMATE
LANDSCAPING	-			-	LS	S		\$		-		N/A-SEE SITE DEV ESTIMATE
	1											
SUBTO	TAL- SITE	DEVELO	PMENT					\$		\$	-	
	SUBTO	AL-DIR	ECT COST-					\$ 1	2,375,370	\$ 2	243.30	
												· ·
	1											
\vdash	1											

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL
BGSF 105,330.00

DESCRIPTION	QTY	U/M	UNIT PRICE		TOTALS	COST/SF	NOTES/COMMENTS
EXISTING COURTHOUSE SITE DEVELOPMENT							
DIVISION 310000 SITE DEVELOPMENT							
SITE PREPARATION / EROSION & SEDIMENT CONTROL	1.90	AC	\$400,000.00		\$ 760,000		
SITE CLEARING/SITE DEMO	1.00	LS	s -		INCLUDED		
STRUCTURE DEMO- CSU EXTENSION BLDG	1.00	LS	\$ 35,000.00		\$ 35,000		
STRUCTURE DEMO- GARAGE BLDG	1.00	LS	\$ 15,000.00		\$ 15,000		
EARTHWORK / SITE GRADING / CUT & FILL	1.00		s -		INCLUDED		
IMPORTED BASE COURSE- PAVEMENT BASES	1.00	LS	s -		INCLUDED		
DOMESTIC/FIRE WATER SERVICE	1.00	LS	s -		INCLUDED		NEW DOMESTIC WATER SERV
STORM SEWER -MANHOLE/DRAINS/PIPING	1.00		s -		INCLUDED		NEW STORM PIPING/STRUCT
SANITARY SEWER SERVICE-MANHOLES/PIPING	1.00	LS	s -		INCLUDED		NEW SANITARY SERVICE
NATURAL GAS SERVICE	1.00		s -		INCLUDED		NEW SERVICE TO ADDN
ASPHALT PAVMENT	1.00	LS	s -		INCLUDED		NEW REPLACMENT PAVING
SITE CONCRETE-FLATWORK	1.00	LS	s -		INCLUDED		WALKS/CONC PAVEMENT
SITE CONCRETE-MISC	1.00	LS	s -		INCLUDED		
SITE FURNISHINGS- TRASH RECEP/BENCHES	1.00		s -		INCLUDED		NUMBER OF STREET
LANDSCAPING	1.00	LS	S -		INCLUDED		WITHIN SITE LIMITS
SUBTOTAL- SITE DEVELOPMENT				-	\$ 810,000	\$ 7.69	
				-		-	
				<u> </u>			
SUBTOTAL-DIRECT COST-					\$ 810,000	\$ 7.69	
		-		l			
				-			
				-			
			 	-			
				-			
		-		-			
	ļ	<u> </u>					
				-			
				-			
				-			
		1					

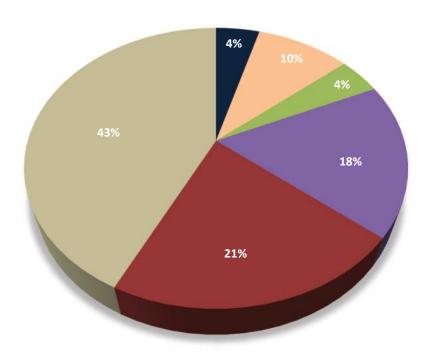
GENERAL CONDITIONS SITEWORK STRUCTURE/SUBSTRATE INTERIOR CONSTRUCTION FINISHES MEP

FORMER KMART

The estimate includes appropriately 96,000 gf of existing space to be remodel along with site development. Design add alternates have been provided in addition to the base estimate.

Construction Cost Site Development	SF	\$/sf	Sub-total \$ 721,170
Renovation	96,046	\$244	\$22,761,591
TOTAL			\$23,482,761
Project "soft" Costs			\$ 1,798,793
TOTAL PROJECT COSTS)		\$25,281,554

K-MART SITE OPTION



■ GENERAL CONDITIONS ■ SITEWORK ■ STRUCTURE/SUBSTRATE ■ INTERIOR CONSTRUCTION ■ FINISHES ■ MEP

ADD ALTERNATES

Site Development (additional 3.4 acres)	\$1,213,327	Interior Courtyards	\$ 406,652
Facilities & Vehicle Storage Building including site	\$2,675,298	Interior Build out of CSU Extension & Public Health	\$ 749,362
Interior Build out of (1) Courtroom	\$ 353,985	CSU Extension Lobby Vestibule	\$ 123,526
New pull-through Vehicle Sally Port	\$ 628,322	Complete Reroof (insulation & membrane)	\$1,756,958

FCI Constructors, Inc.

WIND UPLIFT RATING

ate: July 24, 2020

KMART SITE OPTION-R1 Project: MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY NEW CONSTR. NEW CONSTR. NEW CONSTR. NEW CONSTR. 11,136 13.761 CRAIG, CO RENOVATION RENOVATION 94,602 RENOVATION 94,602 RENOVATION 94,602 CONCEPTUAL PROGRAMMATIC COST MODEL-R1 97,227 DESCRIPTION TOTAL SF TOTAL SF TOTAL SF 108,363 TOTAL COST TOTAL COST TOTAL COST TOTAL COST NOTES 100000 GENERAL CONDITIONS 192,000 17.24 825,000 8.49 192,000 1,209,000 11.16 10000 SITE WORK 2,052,000 18.94 2,052,000 18.94 330,655 3.05 20000 SITEWORK - EXISTING CONDITIONS 3.40 330,655 20000 SITEWORK - BUILDING 153,624 13.80 53,860 0.55 207,484 1.91 20000 SITEWORK - DEEP FOUNDATIONS 30000 CONCRETE 213,980 19.22 146,133 360,113 308.129 3.17 308.129 2.84 040000 MASONRY 50000 METALS 41,760 3.75 460,189 4.73 501,949 4.63 060000 WOOD & PLASTICS 2.00 11.85 1,174,755 10.84 1,152,483 70000 THERMAL & MOISTURE PROTECTION 12.086 1.09 2.269.470 23.34 2 281 556 21.05 080000 DOORS & WINDOWS 58,467 5.25 1,318,087 13.56 1,376,554 12.70 18.34 90000 FINISHES 204.276 4.778.464 49.15 4 982 740 45 98 2.40 365,780 392,506 3.62 00000 SPECIALTIES 26,726 3.76 24.262 0.25 24.262 0.22 10000 FOUIPMENT 20000 FURNISHINGS 74,500 0.77 74,500 0.69 130000 SPECIAL CONSTRUCTION 378,624 34.00 378,624 3.49 10000 FIRE PROTECTION 37,862 3.40 233,335 271,197 2.50 2.40 30000 PLUMBING 155,904 14.00 1,730,652 17.80 1,886,556 17.41 0000 HVAC 256,128 23.00 4,590,392 47.21 4,846,520 44.72 20.00 3,941,016 50000 ELECTRICAL 222,720 3,718,296 38.24 36.37 /280000 LV SPECIAL SYSTEMS 30,624 2.75 674,164 6.93 704,788 6.50 251.98 SUBTOTAL - DIRECT COST 2,007,054 180.23 \$ 23,053,851 237.11 \$ 2,244,000 20.71 \$ 27,304,905 CONTINGENCY 160,564 14.42 1,844,308 18.97 179,52 1.66 2,184,392 20.16 BUILDERS RISK INSURANCE 1,133 0.10 0.01 11,858 0.12 1,137 14,128 0.13 19.31 1.73 202.12 19.388 0.18 GENERAL LIABILITY INSURANCE 2.08 240.825 PROPERTY SURVEY BY OWNER SOILS INVESTIGATION/GEOTECHNICAL ENGINEERING BY OWNER MATERIALS TESTING / INSPECTION BY OWNER PLANNING APPLICATIONS/PERMIT/PLAN REVIEW FEES BY OWNER UILDING PERMIT RY OWNER ARCHITECTURAL DESIGN & ENGINEERING (C/S/M&E) BY OWNER 118.266 PAYMENT/PERFORMANCE BONDS 16.425 1.47 1 22 16 479 0.15 151.170 1.40 I-YFAR WARRANTY ONSTRUCTION PHASE OVERHEAD & FEE 110,224 9.90 1,261,520 12.98 1.14 1,494,771 13.79 123,026 289.68 SUB-TOTAL ESTIMATED CONSTRUCTION COST 2,314,713 272.48 SCOPE REVISIONS/ADJUSTMENTS: DELETE VEHICLE SALLYPORT ADDITION (339,854)(3.50)(339,854) (3.14 DELETE CSU EXTENSION OFFICE LOBBY VESTIBULE (123, 526)(1.27)(123,526 (1.14 DELETE INTERIOR COURTYARDS (406,652) (4.18)(406,652 (3.75 DELETE INTERIOR BUILD OUT OF 1 COURTROOM
DELETE INTERIOR BUILD OUT OF CSU EXTENSION & (353,985 (3.27 (353,985 (3.64)(749.362 (7.71 (749.362 (6.92 HEALTH DEPT ADJUSTED ESTIMATED CONSTRUCTION COST \$ 2,314,712.79 \$ 207.86 \$ 24,518,549.15 \$ 252.18 \$ 2,583,550.10 \$ 23.84 \$ 29,416,812.04 \$ 271.47 POTENTIAL COST REDUCTIONS:

LEAVE EXISTING ROOFING ASSEMBLY - PATCH & REPAIR EXISTING (ASSUMES CODE COMPLIANT INSULATION &

(1,756,958)

(18.07

TO BE VERIFIED

MOFFAT COUNTY, CO

Courthouse Feasibility Study

Summary of Costs - Kmart Building Renovation

2020 Dollars

•					
	Square Footage	Aver			Total
CONSTRUCTION COSTS					
CONSTRUCTION COSTS					
Site Development (2 acres)				\$	721,170
Building Renovation and Entry Addition				\$	22,761,591
TOTAL BASE BID	96,046	\$	244	\$	23,482,761
ADD ALTERNATES					
Site Development (additional 3.4 acres)				\$	1,213,327
Facilities & Vehicle Storage Building including site	11,136	\$	240	\$	2,675,298
Interior Build out of 1 Courtroom	2,094	\$	169	\$	353,985
New pull-through Vehicle Sally Port	1,028	\$	611	\$	628,322
Interior Courtyards	1,237	\$	329	\$	406,652.00
Interior Build out of CSU Extension & Public Health	6,350	\$	118	\$	749,362.00
CSU Extension Lobby Vestibule	182	\$	679	\$	123,526.00
Complete Reroof (insulation & membrane)	102	Ψ	013	\$	1,756,958.00
TOTAL WITH ALTERNATES	108,392	\$	290	\$	31,390,191
TOTAL WITH ALTERNATED	100,002	Ψ	230	Ψ	01,000,101
SOFT COSTS					
Site Acquisition		TBD		\$	-
Off Site Utilities				\$	-
Off-Street Improvements		TBD		\$	_
Building permit		*Waive	r?	\$	75,000
Development Fees			olicable	\$	-
Environmental Phase I			olicable	\$	_
A/E Design Fees	7.0%		truction	\$	1,643,793
Civil and Landscape	1.070		d in Desi		1,010,100
Kitchen Consultant			d in Desi	-	
Technology Design			d in Desi		
Security Electronics Design			d in Desi	-	
Reimbursables/Other		molado	a III Book	\$	10,000
Survey				\$	10,000
Soils Report				\$	_
Construction Testing				\$	35,000
Printing				\$	33,000
Funding Furniture and Equipment		TBD		\$	-
Telephone/Data			t/Cabla in	φ Construct	ion Coata
Audio/Visual (County Departments)		Condu	(Cable III	\$	35.000
` ' ' '				ф	35,000
Audio/Visual (Court)		la alcada	J 10	Ъ	-
Builders Risk/Insurance	1	include	u in cons	truction cos	sis
Commissioning	1	TDD		Ф	-
Moving Expenses	1	TBD		\$	
Bond/Financial Fees	1	Include	a in cons	truction cos	SIS
Owner Contingency SOFT COST TOTALS				\$	1,798,793
SUFT COST TUTALS				ð	1,790,793
TOTAL PROJECT COSTS				\$	25,281,554
TOTAL TROOLOG GOOTS				Ψ	23,201,334

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL R1
BGSF 11,136.00

											BGSF	11,136.0
				QTY	U/M	UNIT PRI	CE		TO	TALS	COST/SF	NOTES/COMMENTS
FOUNDATION RECAP-COLUMN & WALL FOOTINGS	VEHICLE STORAGE & S	HOP BUII	LDING									174' X 64'
OVERFEX REPLACE COLUMN N WALL FOOTINGS	020000 - SITEWORK-BUI	LDING										
EURODATION EXAVER-DEPOSE UNIVITIABLE	FOUNDATION EXCAV-COI	UMN & W	ALL FOOTINGS	423.11	CY	\$ 8	.50		\$	3,596		EXCAV TO FROST DEPTH-36"
IMPORTED FILL TO SLAB ON GRADE	OVER-EX & REPLACE- COL	UMN & WA	ALL FOOTINGS	423.11	CY	\$ 71	40		\$	30,210		OVER-EX/REPLACE/DISPOSE 36
IMPORTED FILL TO SLAB ON GRADE	FOUNDATON EXCAV/BF-D	DISPOSE UI	NSUITABLE	423.11	CY	\$ 13	00		s	5,500		DISPOSE OFFSITE
DARAINAGE BASE TO SLABS ON GRADE												
VAPOR BABRIER TO SLASS ON GRADE												
SURTOTAL -020000 STEWORK-BUILDING S 153,624 \$ 13.80						_						
D22400 - DEEP FOUNDATIONS	VALOR BARRIER TO SEAB	J ON GRAI	DL.	12,100.00	31	3 0	00		3	0,220		13 MIL STEGO
D22400 - DEEP FOUNDATIONS	OVERTOR LA COO						_			== == .		
HELCAL PILES DOT RID LENGTH	SUBTOTAL: 020	000 SITE	WORK-BUILDING				_		\$ 1	53,624	\$ 13.80	
HELCAL PILES DOT RID LENGTH							_					
IBLICAL PRIES SO FT BID LENGTH							_					
SUBTOTAL-022400 DEEP FOUNDATIONS						\$ 4,500	00					
SUBTOTAL 022400 DEEP FOUNDATIONS	HELICAL PILES- 50 FT BID	LENGTH		-	LF	\$ 1,650	00		\$			N/A-EXCLUDED
SUBTOTAL 022400 DEEP FOUNDATIONS	PILE TESTING				LS	\$ 5,000	.00		\$			
030000 - CONCRETE	LAYOUT				HRS	\$ 72	.00		\$	-		
030000 - CONCRETE												
030000 - CONCRETE	SUBTOTAL: 022	400 DEFP	FOUNDATIONS						s		s -	
CONCRETE FOUNDATIONS-PERIM WALL FOOTINGS 37.02 CY \$ 490.00 \$ 18,141 24" X12" CONCRETE FOUNDATIONS-PERIM STEM WALLS 37.02 CY \$ 745.00 \$ 5 27,582 12" X 24" H CONCRETE FOUNDATIONS-COL PILLASTERS AT WALLS CONCRETE FOUNDATIONS-COL PILLASTERS AT WALLS 18.00 EA \$ 390.00 \$ 7,020 CONCRETE FOUNDATIONS-INTER WALL FOOTINGS 13.53 CY \$ 490.00 \$ 5 6.631 24" X 12" CONCRETE FOUNDATIONS-COL FOOTINGS 79.64 CY \$ 490.00 \$ 3 90.26 8" X8" X2" COLUMN STEM WALLS CONCRETE FOUNDATIONS-COL FOOTINGS 1.00 IS \$ 12,000.00 \$ 12,000 S 2,058 6" X6" X 1.5" COLE MISSER FOOTINGS 1.00 IS \$ 12,000.00 \$ 12,000 SIAB ON GRADE-6" TH \$ 11,000.00 \$ 5 7.55 \$ 8 30.50 \$ 12,000 SIAB ON GRADE-6" TH \$ 11,000.00 \$ 5 7.55 \$ 8 30.50 \$ 12,000 SIAB ON GRADE-6" TH \$ 11,000.00 \$ 5 7.55 \$ 8 30.50 \$ 1.00 IS	50210112-022	I DELLI					+		ľ		1	
CONCRETE FOUNDATIONS-PERIM WALL FOOTINGS 37.02 CY \$ 490.00 \$ 18,141 24" X12" CONCRETE FOUNDATIONS-PERIM STEM WALLS 37.02 CY \$ 745.00 \$ 5 27,582 12" X 24" H CONCRETE FOUNDATIONS-COL PILLASTERS AT WALLS CONCRETE FOUNDATIONS-COL PILLASTERS AT WALLS 18.00 EA \$ 390.00 \$ 7,020 CONCRETE FOUNDATIONS-INTER WALL FOOTINGS 13.53 CY \$ 490.00 \$ 5 6.631 24" X 12" CONCRETE FOUNDATIONS-COL FOOTINGS 79.64 CY \$ 490.00 \$ 3 90.26 8" X8" X2" COLUMN STEM WALLS CONCRETE FOUNDATIONS-COL FOOTINGS 1.00 IS \$ 12,000.00 \$ 12,000 S 2,058 6" X6" X 1.5" COLE MISSER FOOTINGS 1.00 IS \$ 12,000.00 \$ 12,000 SIAB ON GRADE-6" TH \$ 11,000.00 \$ 5 7.55 \$ 8 30.50 \$ 12,000 SIAB ON GRADE-6" TH \$ 11,000.00 \$ 5 7.55 \$ 8 30.50 \$ 12,000 SIAB ON GRADE-6" TH \$ 11,000.00 \$ 5 7.55 \$ 8 30.50 \$ 1.00 IS	020000 CONCRETE	+					+	1				
CONCRETE FOUNDATIONS-PERIM STEM WALLS 37.02 CY \$ 745.00 \$ 27.582 12" X 24" H		C DEDIM ***	ALL FOOTBICS	27.00	CV	e 400	00	+		10.14:		24" 8 12"
CONCRETE FOUNDATIONS-COL PILLASTERS AT WALLS 18.00 EA S 390.00 S 7.020								+	\$		-	
CONCRETE FOUNDATIONS-INTER WALLS 9.07 CY \$ 780.00 \$ 5 6.631 24" X12" CONCRETE FOUNDATIONS-INTER STEM WALLS 9.07 CY \$ 780.00 \$ 5 7,073 8" X 24" H CONCRETE FOUNDATIONS-COL FOOTINGS 79.44 CY \$ 490.00 \$ 3.90.26 8" X 8" X 2" COL FTG CONCRETE FOUNDATIONS-COL FOOTINGS 4.20 CY \$ 490.00 \$ 2.058 6" X 6" X 6" X 1.5" COL FTG CONCRETE FOUNDATIONS-COL FOOTINGS 4.20 CY \$ 490.00 \$ 12,0								-			1	12" X 24" H
CONCRETE FOUNDATIONS-INTER STEM WALLS 9.07 (Y \$ 780.00 \$ 7.073 8* X 24* H CONCRETE FOUNDATIONS-COLFOOTINGS 79.64 (Y \$ 490.00 \$ 39.026 8* X 8* X 2* COLFTG CONCRETE FOUNDATIONS-COLFOOTINGS 1.00 LS \$ 12,000.00 \$ 2.058 6* X 6* X 1.5* COLF MISC PITS/FOUNDATIONS 1.00 LS \$ 12,000.00 \$ 12,000 \$ 12,				18.00	EA		00					
CONCRETE FOUNDATIONS-COL FOOTINGS	CONCRETE FOUNDATION	S-INTER W	ALL FOOTINGS	13.53	CY	\$ 490	00		\$	6,631		24" X 12"
CONCERTE FOUNDATIONS	CONCRETE FOUNDATION	S-INTER ST	TEM WALLS	9.07	CY	\$ 780	.00		\$	7,073		8" X 24" H
CONCERTE FOUNDATIONS	CONCRETE FOUNDATION	S-COL FOO	OTINGS	79.64	CY	\$ 490	.00		s	39,026		8' X 8' X 2' -COL FTGS
MISC PITS/FOUNDATIONS				4.20	CY	\$ 490	00		s	2.058		
SLAB ON GRADE-6"TH					IS				\$			
SLAB ON METAL DECK-6.5" TH		,							-			
METAL PAN STAIR PILL				11,000.00						83,030		N/A FVCLUDED
STEAMOND) IH								-		
STE/GROUT PIPE BOLLARDS				-		-			-			N/A-EXCLUDED
SUBTOTAL-03000 CONCRETE												
040000 MASONRY & STONE WORK	STE/GROUT PIPE BOLLAR	DS		24.00	EA	\$ 325	00		\$	7,800		
040000 MASONRY & STONE WORK												
SF S 18.45 S N/A-EXCLUDED	SUBTOTAL- 030	000 CON	CRETE						\$ 2	13,980	\$ 19.22	
SF S 18.45 S N/A-EXCLUDED												
SF S 18.45 S N/A-EXCLUDED	040000 - MASONRY & ST	ONE WO	RK									
MAINSCOT												
SUBTOTAL-040000 MASONRY	WAINSCOT				SF	\$ 18	45		\$	-		N/A-EXCLUDED
SUBTOTAL-040000 MASONRY	INTERIOR CMU WALLS-8"	TH			SF	s 22	60		S			N/A-EXCLUDED
STRUCTURAL STEEL FAMING- WF FLOOR & ROOF TINS S 2,350.00 S N/A-SEE PEMB PACK		1										
STRUCTURAL STEEL FAMING- WF FLOOR & ROOF TINS S 2,350.00 S N/A-SEE PEMB PACK	SURTOTAL: 040	OOO MASO	ONRY						•	-	٠.	
STRUCTURAL STEEL COLUMNS-1.5#/SF . TNS S 2,350.00 S . N/A-SEE PEMB PACK STRUCTURAL STEEL FRAMING-WF FLOOR & ROOF TERRACE FRAMING-8.0#/SF . TNS S 2,260.00 S . N/A-SEE PEMB PACK STEEL INSTEAMING-ROOF-3.0#/SF . TNS S 2,260.00 S . N/A-SEE PEMB PACK STRUCTURAL STEEL FRAMING-ROOF-3.5#/SF . TNS S 1,675.00 S . N/A-SEE PEMB PACK STRUCTURAL STEEL FRAMING-ROOF-1.0 #/SF PEMB PACK STRUCTURAL STEEL FRAMING-BRACE FRAMING . TNS S 2,385.00 S . N/A-SEE PEMB PACK STRUCTURAL STEEL FRAMING-ROOF-1.0 #/SF PEMB PACK STRUCTURAL STEEL FRAMING-HUNG LINTELS/POUR DECKING-2.7 HUNG LINTELS/POUR STRUCTURAL STEEL FRAMING-HUNG LINTELS/POUR STRUCTURAL STEEL/STEEL JOISTS-ERECTION DY S 6,150.00 S N/A-SEE PEMB PACK METAL FLOOR DECKING-2.7 HUNG ASSEE PEMB PACK METAL FLOOR DECKING-2.7 HUNG ASSEE PEMB PACK METAL ROOF DECKING-2.7 HUNG ASSEE PEMB PA	JODIO IIIE O IO	1	J.14.4.2						-		-	
STRUCTURAL STEEL COLUMNS-1.5#/SF . TNS S 2,350.00 S . N/A-SEE PEMB PACK STRUCTURAL STEEL FRAMING-WF FLOOR & ROOF TERRACE FRAMING-8.0#/SF . TNS S 2,260.00 S . N/A-SEE PEMB PACK STEEL INST FRAMING-8.0#/SF . TNS S 2,260.00 S . N/A-SEE PEMB PACK STRUCTURAL STEEL FRAMING-ROOF-3.0#/SF . TNS S 1,675.00 S . N/A-SEE PEMB PACK STRUCTURAL STEEL FRAMING-ROOF-1.0#/SF PEMB PACK STRUCTURAL STEEL FRAMING-BRACE FRAMING . TNS S 2,385.00 S . N/A-SEE PEMB PACK STRUCTURAL STEEL FRAMING-ROOF-1.0#/SF PEMB PACK STRUCTURAL STEEL FRAMING-HUNG LINTELS/POUR STRUCTURAL STEEL FRAMING-HUNG LINTELS/POUR STRUCTURAL STEEL FRAMING-HUNG LINTELS/POUR STRUCTURAL STEEL FRAMING-HUNG LINTELS/POUR STRUCTURAL STEEL/STEEL FRAMING-HUNG LINTELS/POUR STRUCTURAL STEEL/STEEL JOISTS-ERECTION DV S 6,150.00 S . N/A-SEE PEMB PACK STRUCTURAL STEEL/STEEL JOISTS-ERECTION DV S 6,150.00 S . N/A-SEE PEMB PACK STRUCTURAL STEEL/STEEL JOISTS-ERECTION DV S 6,150.00 S . N/A-SEE PEMB PACK METAL FLOOR DECKING -2,716 GAGE SF S 2.80 S . N/A-SEE PEMB PACK METAL ROOF DECKING -2,716 GAGE SF S 2.80 S . N/A-SEE PEMB PACK METAL ROOF DECKING -2,716 GAGE SF S 2.80 S . N/A-SEE PEMB PACK METAL ROOF DECKING -2,716 GAGE SF S 2.60 S . N/A-SEE PEMB PACK METAL ROOF DECKING -2,716 GAGE SF S 2.60 S . N/A-SEE PEMB PACK METAL ROOF DECKING -2,716 GAGE SF S 2.60 S . N/A-SEE PEMB PACK METAL ROOF DECKING -2,716 GAGE SF S 2.60 S . N/A-SEE PEMB PACK METAL ROOF DECKING -2,716 GAGE SF S 2.60 S . N/A-SEE PEMB PACK METAL ROOF DECKING -2,716 GAGE SF S 2.60 S . N/A-SEE PEMB PACK METAL ROOF DECKING -2,716 GAGE SF S 2.60 S . N/A-SEE PEMB PACK METAL ROOF DECKING -2,716 GAGE SF S 2.60 S . N/A-SEE PEMB PACK METAL ROOF DECKING -2,716 GAGE SF S 2.60 S . N/A-SEE PEMB PACK METAL ROOF DECKING -2,716 GAGE SF S 2.60 S . N/A-SEE PEMB PACK METAL ROOF DECKING -2,716 GAGE SF S 2.60 S . N/A-SEE PEMB PACK METAL ROOF DECKING -2,716 GAGE SF S 2.60	OFOOOD METALS						_					
STRUCTURAL STEEL FRAMING-WF FLOOR & ROOF TINS \$ 2,260.00 \$ N/A-SEE PEMB PACK.		DOIC 1 F	L CCT		TNIC	6 2.250	00					NA CEE BEND DACKACE
TERRACE FRAMING-8.09/SF					INS	\$ 2,350	00		\$	-		N/A-SEE PEMB PACKAGE
STEEL WF FRAMING-ROOF-3.0#/SE			LOOR & ROOF		ma to							VALORE BEIOR BARRAGE
STELL OIST FRAMING- ROOF-3.58/SF												
STRUCTURAL STEEL FRAMING					TNS							
STRUCTURAL STEL FRAMING-ROOFTOP SCREEN - TNS S 2,385.00 S N/A-SEE PEMB PACK.						4 -,		_		-		N/A-SEE PEMB PACKAGE
WALL SUPPORT	STRUCTURAL STEEL FRAM	ING- BRA	CE FRAMING		TNS	\$ 2,385	00		\$	-		N/A-SEE PEMB PACKAGE
STRUCTURAL STEEL FRAMING-HUNG LINTELS/POUR S		ING- ROO	FTOP SCREEN		TNS	\$ 2,385	00		s			N/A-SFE PEMB PACKAGE
STOPS/DECK EDDGE ANGLES TINS \$ 2,450.00 \$ N/A-SEE PEMB PACK	STRUCTURAL STEEL FRAM		IG LINTELS/POUR									
METAL FLOOR DECKING - 2"/18 GAGE - SF \$ 2.80 \$ - N/A-SEE PEMB PACK. METAL ROOF DECKING - 1.5"/20 GAGE - SF \$ 2.60 \$ - N/A-SEE PEMB PACK. CANDEY FERMING-ALLOW - SF \$ 45.00 \$ - FRAMING & DECK STEEL PAN STAIRS- 1ST - 2ND FLRS - RI \$ 685.00 \$ - N/A-EXCLUDED	STOPS/DECK EDDGE ANG	LES							_			N/A-SEE PEMB PACKAGE
METAL ROOF DECKING - 1.5°/20 GAGE - SF \$ 2.60 \$ - N/A-SEF PEMB PACK. CANOPY FRAMING ALLOW - SF \$ 45.00 \$ - FRAMING & DECK STEIL PAN STAIRS - IST - 2ND FLIRS - RI \$ 685.00 \$ - N/A-EXCLUDED						,		_		-		N/A-SEE PEMB PACKAGE
CANOPY FRAMING-ALLOW - SF \$ 45.00 \$ - FRAMING & DECK STEEL PAN STAIRS- 1ST - 2ND FLRS - RI \$ 685.00 \$ - N/A-EXCLUDED	METAL FLOOR DECKING -	2"/18 GA	GE		SF	\$ 2	80		\$			N/A-SEE PEMB PACKAGE
CANOPY FRAMING-ALLOW - SF \$ 45.00 \$ - FRAMING & DECK STEEL PAN STAIRS- 1ST - 2ND FLRS - RI \$ 685.00 \$ - N/A-EXCLUDED	METAL ROOF DECKING -	1.5"/20 GA	AGE		SF	\$ 2	60		\$	-		N/A-SEE PEMB PACKAGE
STEEL PAN STAIRS- 1ST - 2ND FLRS - RI \$ 685.00 \$ - N/A-EXCLUDED				-	SF	\$ 45	.00		\$	-		
11,100				11.136.00						41.760		,
		1		11,130.00		- 3		1	-	,/00		
SUBTOTAL- 050000 METALS \$ 41,760 \$ 3.75	CURTOTA: 070	000 MET	116				+	_		41.700	¢ 2	

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 11,136.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
VEHICLE STORAGE & SHOP BUILDING					,	
060000 - WOOD & PLASTICS						
PERIMETER ROOF BLOCKING-TREATED 2X	-	LF	\$ 4.50	s -		
PERIMETER COPING NAILERS/SHIMS	-	LF	\$ 6.50	s -		
PLYWOOD SHEATHING-BACK SIDE OF PARAPETS	-	SF	\$ 1.90	s -		
MILLWORK/CASEWORK/ARCHITECTURAL WOODWOR	11,136.00	SF	\$ 2.00	\$ 22,272		OFFICE/STAFF WORK AREAS
SUBTOTAL- 060000 WOOD & PLASTICS				\$ 22,272	\$ 2.00	
070000 - THERMAL & MOISTURE PROTECTION						
FOUNDATION INSULATION-2" TH RIGID	952.00	SF	\$ 2.80	\$ 2,666		
PERIMETER FDN DAMPPROOFING	952.00	SF	\$ 2.10	\$ 1,999		
ROOF MOUNTED SKYLKIGHTS		EA	\$ 1,525.00	s -		N/A-EXCLUDED
ROOF ACCESS HATCH	1.00	EA	\$ 2,410.00	\$ 2,410		
APPLIED FIREPROOFING	-	SF	s -	s -		N/A-EXCLUDED
CAULKING & SEALANTS	11,136.00	SF	\$ 0.45	\$ 5,011		
SUBTOTAL- 070000 THERMAL & MOISTUR	PROTECTION			\$ 12,086	\$ 1.09	
080000 - DOORS & WINDOWS						
DOORS/FRAMES/HW-INTERIOR	12.00	EA	\$ 2,050.00	\$ 24,600		
DOORS/FRAMES/HW-EXTERIOR	6.00	EA	\$ 2,350.00	\$ 14,100		
OVERHEAD DOORS- SECTIONAL/INSUL/MOTOR OP	2.00	EA	\$ 5,800.00	\$ 11,600		
INTERIOR WINDOWS/GLAZING	64.00	SF	\$ 34.00	\$ 2,176		
ENTRY STOREFRONTS-ALUM/GLASS	-	SF	\$ 56.00	S -		N/A-EXCLUDED
DOORS/FRAMES/HW-STOREFRONTS	-	EA	\$ 3,800.00	\$ -		N/A-EXCLUDED
ALUM STOREFRONT WINDOWS-FIXED	64.00	SF	\$ 56.00	\$ 3,584		EXTER WINDOWS
DOORS/FRAMES/HW-STOREFRONTS	1.00	EA	\$ 1,850.00	\$ 1,850		INTERIOR DOORS
AUTO DOOR OPERATORS	-	EA	\$ 1,550.00	s -		MAIN ENTRY
ALUM LOUVERED SUNSHADES- WALL MTD-FIXED		LF	\$ 190.00	s -		N/A-EXCLUDED
MISC INSTERIOR GLAZING	11,136.00	SF	\$ 0.05	\$ 557		
						
SUBTOTAL- 080000 DOORS & WINDOWS				\$ 58,467	\$ 5.25	
090000 - FINISHES		on				***
EXTERIOR WALLS-6" LG FRAMING/SHEATHING/DW	-	SF	\$ 14.40	s -		CANODY COPPER TACKAG
INTERIOR CEILING BULKHEADS/FASCIAS/SOFFITS	F 204.00	LF	\$ 56.00 \$ 24.00			CANOPY SOFFITS/FASICAS
INTER PTNS/ FLOOR/WALL/BASE/CEILING FINISHES	5,394.00	SF SF				OFFICE/SHOP AREAS
INTER PTNS/ FLOOR/WALL/BASE/CEILING FINISHES	7,482.00	SF	\$ 10.00	\$ 74,820		VEH STORAGE AREAS
SUBTOTAL- 090000 FINISHES				\$ 204,276	\$ 18.34	
SUBTUTAL USUOUU FINISHES				\$ 204,276	\$ 18.34	
DIVISION 100000 - SPECIALTIES						
MISCELLANEOUS SPECIALTIES	11,136.00	SF	\$ 2.40	\$ 26,726		
TOILET PTNS/ACCESSORIES	11,136.00	SF	\$ -	INCLUDED		
WALL & CORNER PROTECTION	11,136.00	SF	s -	INCLUDED		
FIRE PROTECTION CABINETS/EXTINGUISHERS	11,136.00	SF	s -	INCLUDED		
ROOM ID SIGNAGE/WAYFINDING	11,136.00	SF	s -	INCLUDED		
LOCKERS LOCKERS	11,136.00	SF	\$ -	INCLUDED		
STORAGE SHELVING		LS	s -	\$ -		N/A-EXCLUDED
STOREGE STEETING				, .		THE PARTY OF THE P
SUBTOTAL- 100000 SPECIALTIES				\$ 26,726	\$ 2.40	
DIVISION 110000 - EQUIPMENT						
RESIDENTIAL APPLIANCES	_	LS	\$ 4,500.00	s -		N/A-OWNER FF & E
FOOD SERVICE EQUIPMENT-COMMERCIAL	-	LS	s -	s -		N/A-EXCLUDED
AV EQUIPMENT-	-	LS	s -	s -		N/A-OWNER FF & E
WELDING BOOTH	-	EA	\$ 45,000.00	s -		N/A-OWNER FF & E
WOOD WORKING SHOP EQUIPMENT	-	LS	\$ 50,000.00	s -		N/A-OWNER FF & E
MAINT EQUIPMENT	-	LS	\$ -	s -		N/A-OWNER FF & E
LOADING DOCK EQUIPMENT	-	LS	\$ -	s -		N/A-EXCLUDED
SUBTOTAL- 110000 EQUIPMENT				s -	\$ -	
•						

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL R1
BGSF 11,136.00

	DESCRIPTI	ON			QTY	U/M	UNIT PRICE			TOTALS	COST/SF	NOTES/COMMENTS
VEHICI	LE STORAGI		IOP BUIL	DING	•							
DIVISIO	N 120000 -	FURNI	SHINGS									
	ENTRY MATS					LS	\$ 1,500.00		s			N/A-SEE WALKOFF CARPET
			LLER SHA	ADES/BLINDS	-	SF	\$ 24.30		\$	-		N/A-OWNER FF & E
CASEWO						LS	s -		\$	-		SEE DIV 060000
	SUBTOTAL	- 1200	00 FURN	ISHINGS					\$		\$ -	
DIVISIO	N 130000 -	SPECIA	AL CONS	TRUCTION								
PRE-ENC	GINEERED ME	TAL B	UILDING	PACKAGE	11,136.00	SF	\$ 18.25		S	203,232		FURNISH & DELIVER
MAIN FR	RAME/ROOF	PURLIN	NS/WALL	GIRTS/FRAMED OF	11,136.00	SF	s -		\$			FURNISH & DELIVER
STANDI	NG SEAM ME	TAL R	OOFING		11,136.00	SF	s -		\$			FURNISH & DELIVER
R-PANEI	L WALL PANE	ELS			11,136.00	SF	s -		\$			FURNISH & DELIVER
LINER PA	ANELS-WALL	S			11,136.00	SF	s -		\$			FURNISH & DELIVER
LINER PA	ANELS-CEILI	NGS			11,136.00	SF	s -		\$			FURNISH & DELIVER
INSULAT	TION PACKA	GE			11,136.00	SF	s -		\$			FURNISH & DELIVER
PEMB-ER	RECTION/INS	TALL	NSULATI	ON	11,136.00	SF	\$ 15.75		\$	175,392		
X-RAY P	ROTECTION					SF	\$ 24.20		\$			N/A-EXCLUDED
PHOTON	VOLTAIC POV	VER SY	STEM			LS	s -		\$			N/A-EXCLUDED
	SUBTOTAL	- 1300	00 SPEC	IAL CONSTRUCTIO	N				\$	378,624	\$ 34.00	
DIVISIO	N 140000 -	CONV	EYING SY	STEMS								
HYDRAU	JLIC ELEVAT	OR-2 S	TOP			EA	\$ 94,000.00		\$			
HC WHE	EL CHAIR LI	FT				EA	s -		\$			N/A-EXCLUDED
	SUBTOTAL	- 1400	00 CONV	YEYING SYSTEMS					\$	-	\$ -	
DIVISIO	N 210000 -	FIRE S	UPPRESS	SION SYSTEMS								
FIRE SPE	RINKLERS- W	ET PIPI	Ε		11,136.00	SF	\$ 3.40		\$	37,862		
FIRE SPE	RINKLERS- IN	RACK	SYSTEM			SF	s -		\$			N/A-EXCLUDED
FIRE SPE	RINKLERS- DI	RY TYP	E			SF	s -		\$			N/A-EXCLUDED
FIRE SUI	PPRESSION S	YSTEM	- CLEAN	AGENT		SF	s -		\$			N/A-EXCLUDED
FIRE SPE	RINKLERS- FI	RE/JO	CKEY PUM	ſP.		LS	s -		\$			N/A-EXCLUDED
FIRE SPE	RINKLERS- W.	ATER S	TORAGE	TANK		LS	s -		\$			N/A-EXCLUDED
										-		
	SUBTOTAL	- 2100	00 FIRE	SUPPRESSION SYS	ГEMS				\$	37,862	\$ 3.40	
DIVISIO	N 230000 P	LUMBI	NG SYST	EMS								
PLUMBII	NG EQUIPME	NT			11,136.00	SF	\$ 14.00		\$	155,904		
DOMEST	TIC WATER				11,136.00	SF				INCLUDED		
	/ ROOF DRA				11,136.00		s -			INCLUDED		
	RY SEWER-UC				11,136.00	SF				INCLUDED		
	& VENT- ABO	VE GR	ADE		11,136.00					INCLUDED		
NAT GA	S PIPING				11,136.00	SF				INCLUDED		
FIXTURE	ES				11,136.00	SF				INCLUDED		
PLUMBII	NG INSULATI	ON			11,136.00	SF				INCLUDED		
COMPRE	ESSED AIR SY	STEM-	SHOP AIR	t SYS	-	LS	\$ 40,000.00		\$			N/A-OWNER FF & E
	SUBTOTAL	- PLUN	IBING SY	STEMS					\$	155,904	\$ 14.00	
1	1 1					1	1	i I	1		1	1

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL R1
BGSF 11,136.00

DESCRIPTION	QTY	U/M	UNIT PRICE	\vdash	TOTALS	COST/SF	NOTES/COMMENTS
VEHICLE STORAGE & SHOP BUILDING							
DIVISION 24 HVAC SYSTEMS							
HVAC SYSTEM- ROOF TOP PACKAGE SYS	11,136.00	SF	\$ 23.00		\$ 256,128		GAS HEAT/ DX COOLING
QUIPMENT	11,136.00	SF			s -		
DUCTWORK & ACCESSORIES	11,136.00				s -		
IVAC HYDRONIC PIPING SYS		SF	s -		s -		N/A
IVAC INSULATION	11,136.00		,		s -		14/11
HVAC CONTROLS	11,136.00				s -		
TEST & BALANCE	11,136.00				s -		
GEOTHERMAL WELL FIELD	11,136.00	LS	s -		s -		N/A FVCLUDED
GEOTHERMAL WELL FIELD		LS	3 -		3 -		N/A-EXCLUDED
SUBTOTAL- HVAC SYSTEMS					\$ 256,128	\$ 23.00	
DIVISION 260000 ELECTRICAL SYSTEMS							
ELECTRICAL WORK	11,136.00	SF	\$ 20.00		\$ 222,720		
EQUIPMENT- SECONDARY	11,136.00	SF	s -		INCLUDED		
EMERGENCY GENERATOR		SF	s -		s -		N/A-EXCLUDED
POWER DISTRIBUTION	11,136.00	SF	s -		INCLUDED		
LIGHTING & CONTROLS	11,136.00		s -		INCLUDED		
FIRE ALARM SYSTEM	11,136.00		\$ -		INCLUDED		
DATA/COMMUNICATIONS-ROUGH IN	11,136.00		s -		INCLUDED		
ACCESS CONTROL-ROUGH IN	11,136.00		s -		INCLUDED		
SECURITY SYS-ROUGH IN	11,136.00		s -		INCLUDED		
AV SYSTEM-ROUGH IN	11,136.00	SF	\$ -		s -	 	N/A-EXCLUDED
SUBTOTAL- ELECTRICAL SYSTEMS					\$ 222,720	\$ 20.00	
DIVISION 270000 SPECIAL/LV SYSTEMS							
DATA / COMMUNICATIONS-WIRING/DEVICES/EQUIP	11,136.00	SF	\$ 2.75		\$ 30,624		
AV SYSTEM-WIRING/DEVICES/EQUIPMENT	-	SF	s -		s -		N/A
ACCESS CONTROL SYS-WIRING/DEVICES/EQUIP	11,136.00		s -		INCLUDED		
SECURITY SYS-WIRING/DEVICES/EQUIPMENT	11,136.00		s -		INCLUDED		
SECURITY SYS-WIRING/DEVICES/EQUIPMENT	11,136.00	SF	3 -		INCLUDED		
SUBTOTAL- SPECIAL/LV SYSTEMS					\$ 30,624	\$ 2.75	
DIVISION 310000 SITE DEVELOPMENT							
SITE PREPARATION / EROSION & SEDIMENT CONTROL	-	AC	\$ -		s -		N/A-SEE SITE DEV ESTIMATE
SITE CLEARING	-	LS	s -		s -		N/A-SEE SITE DEV ESTIMATE
EARTHWORK / SITE GRADING / CUT & FILL		LS	s -		s -		N/A-SEE SITE DEV ESTIMATE
IMPORTED BASE COURSE- PAVEMENT BASES		LS	s -		s -		N/A-SEE SITE DEV ESTIMATE
DOMESTIC/FIRE WATER SERVICE		LS	\$ -		s -		N/A-SEE SITE DEV ESTIMATE
STORM SEWER -MANHOLE/DRAINS/PIPING		LS	s -		s -		N/A-SEE SITE DEV ESTIMATE
SANITARY SEWER SERVICE-MANHOLES/PIPING	-	LS	s -		s -		N/A-SEE SITE DEV ESTIMATE
NATURAL GAS SERVICE		LS	s -		s -		N/A-SEE SITE DEV ESTIMATE
SITE CONCRETE-FLATWORK		LS	s -		s -		N/A-SEE SITE DEV ESTIMATE
SITE CONCRETE-MISC		LS	s -		s -		N/A-SEE SITE DEV ESTIMATE
SITE FURNISHINGS- TRASH RECEP/BENCHES		LS	s -		s -		N/A-SEE SITE DEV ESTIMATE
LANDSCAPING	-	LS	\$ -		s -		N/A-SEE SITE DEV ESTIMATE
SUBTOTAL- SITE DEVELOPMENT					s -	\$ -	
DETECTION OF THE STATE OF THE S					*	7	
		t					
CURTOTAL DIRECT COST		\vdash		 	\$ 1,815,054	\$ 162.99	
SUBTOTAL-DIRECT COST-		1			\$ 1,015,054	3 102.99	
		-	 	 			
		-					
						L	
					_		
		 					
		-	1				
		1	I .	1 1	1		1

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 94,600.00

DESCRIPTION	QTY	U/M	UNIT PRICE		TOTALS	COST/SF	NOTES/COMMENTS
KMART BUILDING-REMODEL & ADDITIONS-R1	QII	U/M	UNII FRICE		IUIALS	COST/SF	NOTES/COMMENTS
	-						
020000 - SITEWORK-EXISTING CONDTIONS	-						
BUILDING REMODEL*******	-	LS	\$ -		\$ -		
INTERIOR DEMOLITION*******	-	LS	\$ -		\$ -		
REMOVE FLOORING	77,000.00	SF	\$ 0.80		\$ 61,600		INCL ADHESIVE REMOVAL
REMOVE SUSPENDED CEILINGS	77,000.00	SF	\$ 0.45		\$ 34,650		
REMOVE WOOD FRAMED MEZZANINE	5,460.00	SF	\$ 2.25		\$ 12,285		
REMOVE MISC INTERIOR PARTITIONS/DOORS	1.00	LS	\$ 4,800.00		\$ 4,800		
MISC INTERIOR REMOVALS	94,600.00	SF	\$ 0.10		\$ 9,460		
MISC INTERIOR REMOVALS-MEP WORK	94,600.00	SF	\$ 1.10		\$ 104,060		
SAWCUT/REMOVE EXISTING SLABS	3,000.00	SF	\$ 12.00		\$ 36,000		NEW U/G PLUMBING
SAWCUT/REMOVE EXISTING SLABS	1,600.00	SF	\$ 6.00		\$ 9,600		NEW EXTER COURTYARDS
EXTERIOR DEMOLITION********	-	LS	s -		\$ -		
REMOVE RETAIL SIGN PANEL/LOGO/CMU PIERS	1.00	LS	\$ 8,000.00		\$ 8,000		
REMOVE MAIN ENTRY VESTIBULE	1.00	LS	\$ 3,000.00		\$ 3,000		
REMOVE GARDEN CENTER CANOPY	3,744.00	SF	\$ 2.00		\$ 7,488		
REMOVE EX MECH ROOFTOP UNITS	26.00	EA	\$ 350.00		\$ 9,100		
CUT NEW OPENINGS IN EX CMU WALLS-DOORS	13.00	EA	\$ 420.00		\$ 5,460		
CUT NEW OPENINGS IN EX CMU WALLS-WINDOWS	17.00	EA	\$ 605.00		\$ 10,285		SMALL OPENINGS
CUT NEW OPENINGS IN EX CMU WALLS-WINDOWS	4.00	EA	\$ 1,250.00		\$ 5,000		LARGE OPENINGS
					\$ 9,867		LARGE OF ENIVOS
REMOVE EXISTING CMU WALL- NEW ENTRY VESTIBULE	1,518.00	SF	\$ 6.50		3 9,867		
	L	-	1				
SUBTOTAL- 020000 SITEWORK-EXISTING CO	ONDTIONS				\$ 330,655	\$ 3.50	
	l						
020000 - SITEWORK-BUILDING	ĺ						
LOBBY VESTIBULE ADDITION******	_	LS	s -		\$ -		
	74.00						EVEAU TO PROST DEPTH 365
FOUNDATION EXCAV-COLUMN & WALL FOOTINGS		CY			\$ 629		EXCAV TO FROST DEPTH-36"
OVER-EX & REPLACE- COLUMN & WALL FOOTINGS	74.00	CY	\$ 71.40		\$ 5,284		OVER-EX/REPLACE/DISPOSE 36"
FOUNDATON EXCAV/BF-DISPOSE UNSUITABLE	74.00	CY	\$ 13.00		\$ 962		DISPOSE OFFSITE
IMPORTED FILL TO SLAB ON GRADE	193.20	CY	\$ 62.00		\$ 11,978		ASSUME 36" STRUC'L FILL
DRAINAGE BASE TO SLABS ON GRADE	1,449.00	SF	\$ 1.38		\$ 1,996		6" CLASS 6 BASE
VAPOR BARRIER TO SLABS ON GRADE	1,593.90	CE	\$ 0.68		\$ 1,084		15 MIL STEGO
	1,393.90	3F					13 MIL STEGO
CSU EXTENSION LOBBY VESTIBULE ADDITION******		LS	s -		\$ -		
FOUNDATION EXCAV-COLUMN & WALL FOOTINGS	104.53	CY	\$ 8.50		\$ 889		EXCAV TO FROST DEPTH-36"
IMPORTED FILL TO SLAB ON GRADE / FOOTINGS	104.53	CY	\$ 62.00		\$ 6,481		ASSUME 36" STRUC'L FILL
DRAINAGE BASE TO SLABS ON GRADE	176.00	SF	\$ 1.38		\$ 242		6" CLASS 6 BASE
VAPOR BARRIER TO SLABS ON GRADE	193.60	SF	\$ 0.68		\$ 132		15 MIL STEGO
VEHICLE SALLYPORT ADDITION******	-	LS	s -		\$ -		
FOUNDATION EXCAV-COLUMN & WALL FOOTINGS	60.00	CY	\$ 8.50		\$ 510		EXCAV TO FROST DEPTH-36"
OVER-EX & REPLACE- COLUMN & WALL FOOTINGS	60.00	CY	\$ 71.40		\$ 4,284		OVER-EX/REPLACE/DISPOSE 36"
FOUNDATION EXCAV/BF-DISPOSE UNSUITABLE	60.00	CY	\$ 13.00		\$ 780		DISPOSE OFFSITE
IMPORTED FILL TO SLAB ON GRADE	133.33	CY	\$ 62.00		\$ 8,267		ASSUME 36" STRUC'L FILL
DRAINAGE BASE TO SLABS ON GRADE	1,000.00	SF	\$ 1.38		\$ 1,378		6" CLASS 6 BASE
VAPOR BARRIER TO SLABS ON GRADE	1,100.00	SF	\$ 0.68		\$ 748		15 MIL STEGO
FRONT ENTRY CANOPY********	-,222.00	LS	s -		\$ -		
	20.11						FVCAU TO FROST DEPTH 200
FOUNDATION EXCAV-COLUMN & WALL FOOTINGS	28.44	CY	\$ 8.50		\$ 242		EXCAV TO FROST DEPTH-36"
OVER-EX & REPLACE- COLUMN & WALL FOOTINGS	28.44	CY	\$ 71.40		\$ 2,031		OVER-EX/REPLACE/DISPOSE 36"
FOUNDATION EXCAV/BF-DISPOSE UNSUITABLE	28.44	CY	\$ 13.00		\$ 370		DISPOSE OFFSITE
OUTDOOR COURTYARDS*******	<u> </u>	LS	s -		\$ -		
FOUNDATION EXCAV-COLUMN & WALL FOOTINGS	60.00	CY	\$ 8.50		\$ 510		EXCAV TO FROST DEPTH-36"
OVER-EX & REPLACE- COLUMN & WALL FOOTINGS	60.00	CY	\$ 71.40		\$ 4,284		OVER-EX/REPLACE/DISPOSE 36"
FOUNDATION EXCAV/BF-DISPOSE UNSUITABLE	60.00	CY	\$ 13.00		\$ 780		DISPOSE OFFSITE
		—					
SUBTOTAL- 020000 SITEWORK-BUILDING					\$ 53,860	\$ 0.57	
	<u></u>	L					
022400 - DEEP FOUNDATIONS	l -						
HELICAL PILES- MOBILIZE/DEMOB	_	DY	\$ 4,500.00		ς .		
	,				•		N/A EVCLUDED
HELICAL PILES- 50 FT BID LENGTH	· ·	LF	\$ 1,650.00		s -		N/A-EXCLUDED
PILE TESTING	· -	LS	\$ 5,000.00		\$ -		
LAYOUT	-	HRS	\$ 72.00		\$ -		
	<u> </u>						
SUBTOTAL- 022400 DEEP FOUNDATIONS	l -				\$ -	\$ -	
		1	1	1		1	1

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-18
BGSF 94,600.00

KMART BUILDING-REM			QTY	U/M	UNIT F	RICE		TOTALS	COST/SF	NOTES/COMMENTS
	ODEL & ADI	DITIONS-R1								
030000 - CONCRETE										
LOBBY VESTIBULE ADI	OITION*****	b de	-	LS	\$	-		ş -		
CONCRETE FOUNDATIO			8.63	CY	\$ 4	90.00	5	4,230		24" X 12"
CONCRETE FOUNDATIO			11.48	CY	\$ 7	45.00	5	8,554		16" X 24" H
CONCRETE FOUNDATIO			4.86	CY		90.00	5			5' X 5' X 1' -COL FTGS
MISC PITS/FOUNDATIO			1.00	LS		00.00	5			
SLAB ON GRADE-5" TH			1,340.00	SF	S	6.60	5			
CSU EXTENSION LOBBY	VESTIBULE	ADDITION*****		LS	\$	-				
CONCRETE FOUNDATIO			2.96	CY		90.00				24" X 12"
CONCRETE FOUNDATIO			3.93	CY		45.00				16" X 24" H
CONCRETE FOUNDATIO			3.89	CY		90.00				5' X 5' X 1' -COL FTGS
SLAB ON GRADE-5" TH			147.00	SF	\$	6.60				
VEHICLE SALLYPORT A	DDITION	****		LS	\$	-				
CONCRETE FOUNDATIO			7.00	CY		90.00				24" X 12"
CONCRETE FOUNDATIO			9.31	CY		45.00				16" X 24" H
CONCRETE FOUNDATIO			3.89	CY		90.00		,		5' X 5' X 1' -COL FTGS
MISC PITS/FOUNDATIO		7111403	1.00	LS		00.00				J X J X I -COLITOS
SLAB ON GRADE-6" TH			912.00	SF	\$ 1,3	7.55				
FRONT ENTRY CANOP	V		312.00	LS	\$,		
		TINGS	3.89	CY		90.00				5' X 5' X 1' -COL FTGS
CONCRETE FOUNDATIO CONCRETE FOUNDATIO			0.55	CY	-	50.00	1.	s 1,906 s 963		1.33' X 1.33' X 2' -COL PIE
OUTDOOR COURTYAR		w	0.55	LS	\$ 1,7	30.00	- 3		†	1.33 A 1.33 A 2 -CUL PIE
		ALL FOOTINGS	15.87	CY		90.00	1 1	•	1	24" X 12"
CONCRETE FOUNDATIO			21.10	CY		45.00	3			
CONCRETE FOUNDATIO CONCRETE FOUNDATIO			16.80	CY	7 .	90.00	- 3			16" X 24" H 6' X 6' X 1.5' -COL FTGS
				EA			- 3			6. X 6. X 1.5COL FIGS
CONCRETE FOUNDATIO		ASTERS AT WALLS	8.00			90.00		,		
MISC PITS/FOUNDATIO	NS .		1.00	LS		00.00	5	-,000		
SLAB ON GRADE-5" TH			1,142.00	SF	\$	6.35		,===		
BUILDING REMODEL***				LS	\$					
SLAB ON GRADE-4" TH-			3,000.00	SF		11.85				NEW U/G PLUMBING
CONCRETE FOUNDATIO	NS- WALL FO	OOTINGS	19.44	CY	\$ 5	50.00		10,694		NEW CMU WALLS-INTERIO
SUBTOTAL- 03	30000 CONC	RETE						146,133	\$ 1.54	
	omovim won									
040000 - MASONRY &										
LOBBY VESTIBULE ADI			600.00	LS	\$	-				
EXTERIOR WALLS-VENE		F THINSTONE			-		- 3			
			000.00	SF		38.00	9	22,800		
CSU EXTENSION LOBBY	VESTIBULE	ADDITION*****	-	SF LS	s	-	9	22,800		
CSU EXTENSION LOBBY EXTERIOR WALLS-VENE	Y VESTIBULE ER -2" MANU	F THINSTONE	240.00	SF	\$	38.00		\$ 22,800 \$ - \$ 9,120		
CSU EXTENSION LOBBY EXTERIOR WALLS-VENE VEHICLE SALLYPORT A	VESTIBULE ER -2" MANU ADDITION***	F THINSTONE	240.00	SF LS	\$ \$	38.00	9	22,800 5 - 5 9,120 5 -		
CSU EXTENSION LOBBY EXTERIOR WALLS-VENE VEHICLE SALLYPORT A EXTERIOR CMU WALLS-	VESTIBULE ER -2" MANU ADDITION*** B" TH	E ADDITION****** F THINSTONE	240.00 - 1,800.00	SF LS SF	\$ \$ \$	38.00	9 9	\$ 22,800 \$ - \$ 9,120 \$ - \$ 40,680		8" BACKUP TO VENEER
CSU EXTENSION LOBBY EXTERIOR WALLS-VENE VEHICLE SALLYPORT A EXTERIOR CMU WALLS- EXTERIOR WALLS-VENE	VESTIBULE ER -2" MANU ADDITION*** 8" TH ER -4" ARCH'	E ADDITION****** F THINSTONE	240.00	SF LS SF SF	\$ \$ \$ \$	38.00 - 22.60 18.45	9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9	\$ 22,800 \$ - \$ 9,120 \$ - \$ 40,680 \$ 33,210		8" BACKUP TO VENEER
CSU EXTENSION LOBBY EXTERIOR WALLS-VENE VEHICLE SALLYPORT A EXTERIOR CMU WALLS-VENE EXTERIOR WALLS-VENE FRONT ENTRY CANOP	Y VESTIBULE ER -2" MANU ADDITION*** B" TH ER -4" ARCH' Y********	E ADDITION***** F THINSTONE ***** L CMU	240.00 - 1,800.00 1,800.00	SF LS SF SF LS	\$ \$ \$ \$ \$	- 38.00 - 22.60 18.45	9 9	\$ 22,800 \$ - \$ 9,120 \$ - \$ 40,680 \$ 33,210 \$ -		
CSU EXTENSION LOBBE EXTERIOR WALLS-VENE VEHICLE SALLYPORT A EXTERIOR CMU WALLS- EXTERIOR WALLS-VENE FRONT ENTRY CANOP EXTERIOR WALLS-VENE	Y VESTIBULE ER -2" MANU ADDITION*** 8" TH ER -4" ARCH' Y********** ER -2" MANU	E ADDITION***** F THINSTONE ***** L CMU	240.00 - 1,800.00 1,800.00 - 128.00	SF LS SF SF LS SF	\$ \$ \$ \$ \$ \$	22.60 118.45 -		\$ 22,800 \$ - \$ 9,120 \$ - \$ 40,680 \$ 33,210 \$ - \$ 4,864		COLUMN PIERS
CSU EXTENSION LOBB' EXTERIOR WALLS-VENE VEHICLE SALLYPORT A EXTERIOR CMU WALLS- EXTERIOR CMU WALLS- FRONT ENTRY CANOP EXTERIOR WALLS-VENE CAST STONE COLUMN I	Y VESTIBULE ER -2" MANU ADDITION** B" TH ER -4" ARCH' Y******** ER -2" MANU PIER CAPS	E ADDITION***** F THINSTONE ***** L CMU	240.00 - 1,800.00 1,800.00	SF LS SF LS SF LS SF	\$ \$ \$ \$ \$ \$ \$ \$	- 38.00 - 22.60 18.45		\$ 22,800 \$ - \$ 9,120 \$ - \$ 40,680 \$ 33,210 \$ - \$ 4,864 \$ 2,400		
CSU EXTENSION LOBBY EXTERIOR WALLS-VENE VEHICLE SALLYPORT A EXTERIOR CMU WALLS- EXTERIOR WALLS-VENE FRONT ENTRY CANOP EXTERIOR WALLS-VENE CAST STONE COLUMN B OUTDOOR COURTYAR	Y VESTIBULE ER -2" MANU ADDITION** B" TH ER -4" ARCH' Y******* ER -2" MANU PIER CAPS DS*********	E ADDITION***** F THINSTONE ***** L CMU F THINSTONE	240.00 - 1,800.00 1,800.00 - 128.00 4.00	SF LS SF LS SF LS SF EA LS	\$ \$ \$ \$ \$ \$ \$ \$ \$	22.60 18.45 - 38.00 00.00	9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9	\$ -2,800 \$ - \$ 9,120 \$ - \$ 40,680 \$ 33,210 \$ - \$ 4,864 \$ 2,400		COLUMN PIERS COLUMN PIERS
CSU EXTENSION LOBB' EXTERIOR WALLS-VENE VEHICLE SALLYPORT & EXTERIOR CMU WALLS-VENE FRONT ENTRY CANOP EXTERIOR WALLS-VENE OUTDOOR COURTYAR EXTERIOR WALLS-VENE EXTERIOR WALLS-VENE	Y VESTIBULE ER -2" MANU ADDITION*** B" TH ER -4" ARCH' Y******* PIER CAPS DS******** ER -4" ARCH' ER -4" ARCH'	E ADDITION***** F THINSTONE ***** L CMU F THINSTONE	240.00 - 1,800.00 1,800.00 - 128.00	SF LS SF LS SF LS SF EA LS SF	\$ \$ \$ \$ \$ \$ \$ \$ \$	22.60 118.45 -		\$ -2,800 \$ - \$ 9,120 \$ - \$ 40,680 \$ 33,210 \$ - \$ 4,864 \$ 2,400		COLUMN PIERS
CSU EXTENSION LOBB' EXTERIOR WALLS-VENE VEHICLE SALLYPORT & EXTERIOR CMU WALLS-VENE FRONT ENTRY CANOP EXTERIOR WALLS-VENE OUTDOOR COURTYAR EXTERIOR WALLS-VENE EXTERIOR WALLS-VENE	Y VESTIBULE ER -2" MANU ADDITION*** B" TH ER -4" ARCH' Y******* PIER CAPS DS******** ER -4" ARCH' ER -4" ARCH'	E ADDITION***** F THINSTONE ***** L CMU F THINSTONE	240.00 - 1,800.00 1,800.00 - 128.00 4.00	SF LS SF LS SF LS SF EA LS	\$ \$ \$ \$ \$ \$ \$ \$ \$	22.60 18.45 - 38.00 00.00	9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9	\$ 22,800 \$ - \$ 9,120 \$ - \$ 40,680 \$ - \$ 4,864 \$ 2,400 \$ - \$ 15,055		COLUMN PIERS COLUMN PIERS
CSU EXTENSION LOBB: EXTERIOR WALLS-VENE WEHICLE SALLYPORT / EXTERIOR CMU WALLS- EXTERIOR WALLS-VENE FRONT ENTRY CANOP EXTERIOR WALLS-VENE CAST STONE COLUMN I OUTDOOR COURTY EXTERIOR WALLS-VENE BUILDING REMODEL**	Y VESTIBULE ER -2" MANU ADDITION*** B" TH ER -4" ARCH' Y******* PIER CAPS DS******** ER -4" ARCH' ER -4" ARCH'	E ADDITION***** F THINSTONE ***** L CMU F THINSTONE	240.00 - 1,800.00 1,800.00 - 128.00 4.00	SF LS SF LS SF LS SF EA LS SF	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	22.60 18.45 - 38.00 00.00	9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9	\$ -2,800 \$ - \$ 9,120 \$ - \$ 40,680 \$ 33,210 \$ - \$ 5 4,864 \$ 2,400 \$ - \$ 15,055 \$ -		COLUMN PIERS COLUMN PIERS
CSU EXTENSION LOBBY EXTERIOR WALLS-VENE VEHICLE SALLS-VENE EXTERIOR CMU WALLS- EXTERIOR WALLS-VENE EXTERIOR WALLS-VENE EXTERIOR WALLS-VENE CAST STONE COLUMN I OUTDOOR COURTYAR EXTERIOR WALLS-VENE BUILDING REMODEL. EXTERIOR CMU WALLS- PATCH/REPAIR EXISTIN	Y VESTIBULE ER -2" MANU ADDITION** S" TH ER -4" ARCH' Y******** PIER CAPS DS******** ER -4" ARCH' ************************************	E ADDITION***** F THINSTONE ***** L CMU F THINSTONE L CMU	1,800.00 1,800.00 1,800.00 1,800.00 - 128.00 4.00 - 816.00 - 5,000.00	SF LS SF LS SF EA LS SF LS SF	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	38.00 - 22.60 18.45 - 38.00 00.00 - 18.45	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	\$ 22,800 \$ - 5 9,120 \$ - 6 40,680 \$ 33,210 \$ - 6 4,864 \$ 2,400 \$ - 5 15,055 \$ - 6 130,000		COLUMN PIERS COLUMN PIERS 48" HIGH WAINSCOT
CSU EXTENSION LOBBY EXTERIOR WALLS-VENE VEHICLE SALLS-VENE EXTERIOR CMU WALLS- EXTERIOR WALLS-VENE EXTERIOR WALLS-VENE EXTERIOR WALLS-VENE CAST STONE COLUMN I OUTDOOR COURTYAR EXTERIOR WALLS-VENE BUILDING REMODEL. EXTERIOR CMU WALLS- PATCH/REPAIR EXISTIN	Y VESTIBULE ER -2" MANU ADDITION** S" TH ER -4" ARCH' Y******** PIER CAPS DS******** ER -4" ARCH' ************************************	E ADDITION***** F THINSTONE ***** L CMU F THINSTONE L CMU	240.00 1,800.00 1,800.00 128.00 4.00 	SF LS SF LS SF EA LS SF LS SF EA	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	38.00 - 22.60 18.45 - 38.00 00.00 - 18.45	5 5 5 5 7 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8	\$ 22,800 \$ - \$ 9,120 \$ - \$ 40,680 \$ 33,210 \$ - \$ 4,864 \$ 2,400 \$ - \$ 15,055 \$ - \$ 130,000		COLUMN PIERS COLUMN PIERS 48" HIGH WAINSCOT
CSU EXTENSION LOBB: EXTERIOR WALLS-VINE VEHICLE SALILS-VORT EXTERIOR CMU WALLS-VENE EXTERIOR WALLS-VENE EXTERIOR WALLS-VENE EXTERIOR WALLS-VENE EXTERIOR WALLS-VENE EXTERIOR WALLS-VENE BUILDING REMODEL INTERIOR CMU WALLS-VENE BUILDING REMODEL PATCH/REPAIR EXISTIN OPENINGS	V VESTIBULE CANNOT CONTROL OF CON	E ADDITION***** F THINSTONE L CMU F THINSTONE L CMU L CMU	1,800.00 1,800.00 1,800.00 1,800.00 - 128.00 4.00 - 816.00 - 5,000.00	SF LS SF LS SF EA LS SF LS SF	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	38.00 - 22.60 18.45 - 38.00 00.00 - 18.45	9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9	\$ 22,800 \$ - \$ 9,120 \$ - \$ 40,680 \$ 33,210 \$ - \$ 4,864 \$ 2,400 \$ - \$ 15,055 \$ 130,000		COLUMN PIERS COLUMN PIERS 48" HIGH WAINSCOT
CSU EXTENSION LOBBY EXTERIOR WALLS-VENE VEHICLE SALLS-VENE EXTERIOR CMU WALLS- EXTERIOR WALLS-VENE EXTERIOR WALLS-VENE EXTERIOR WALLS-VENE CAST STONE COLUMN I OUTDOOR COURTYAR EXTERIOR WALLS-VENE BUILDING REMODEL. EXTERIOR CMU WALLS- PATCH/REPAIR EXISTIN	V VESTIBULE CANNOT CONTROL OF CON	E ADDITION***** F THINSTONE L CMU F THINSTONE L CMU L CMU	1,800.00 1,800.00 1,800.00 1,800.00 - 128.00 4.00 - 816.00 - 5,000.00	SF LS SF LS SF EA LS SF LS SF	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	38.00 - 22.60 18.45 - 38.00 00.00 - 18.45	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	\$ 22,800 \$ - \$ 9,120 \$ - \$ 40,680 \$ 33,210 \$ - \$ 4,864 \$ 2,400 \$ - \$ 15,055 \$ - \$ 130,000	\$ 3.26	COLUMN PIERS COLUMN PIERS 48" HIGH WAINSCOT
CSU EXTENSION LOBBS EXTERIOR WALLS-VENE EVERTICRE CMU WALLS- EXTERIOR CMU WALLS- EXTERIOR WALLS-VENE ERRONT ENTRY CANOP EXTERIOR WALLS-VENE CAST STONE COLIUMN I OUTDOOR COURTYAR EXTERIOR WALLS-VENE BUILDING REMODEL INTERIOR CMU WALLS- INTERIOR CM	V VESTIBULE CANNOT CONTROL OF CON	E ADDITION***** F THINSTONE L CMU F THINSTONE L CMU L CMU	1,800.00 1,800.00 1,800.00 1,800.00 - 128.00 4.00 - 816.00 - 5,000.00	SF LS SF LS SF EA LS SF LS SF	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	38.00 - 22.60 18.45 - 38.00 00.00 - 18.45	9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9	\$ 22,800 \$ - \$ 9,120 \$ - \$ 40,680 \$ 33,210 \$ - \$ 4,864 \$ 2,400 \$ - \$ 15,055 \$ 130,000	\$ 3.26	COLUMN PIERS COLUMN PIERS 48" HIGH WAINSCOT
CSU EXTENSION LOBB: EXTERIOR WALLS-VENE VEHICLE SALLS-VENE EXTERIOR CMU WALLS-VENE EXTERIOR WALLS-VENE EXTERIOR WALLS-VENE CAST STONE COLUMN I DUTDOOR COURTYAR EXTERIOR WALLS-VENE SUILDING REMODEL- EXTERIOR WALLS-VENE SUILDING REMODEL- EXTERIOR WALLS-VENE SUILDING REMODEL- EXTERIOR WALLS-VENE SUILDING REMODEL- EXTERIOR WALLS- EXTERI	VESTIBULE RE -2" MANU ADDITION** S* TH ER -4" ARCH' Y4"** PER -2" MANU PER -2" MANU PER -2" MANU PER -2" MANU PER -4" ARCH' S* TH G CMU-AT N	E ADDITION***** F THINSTONE L CMU F THINSTONE L CMU L CMU L CMU EW WALL DNRY	1,800.00 1,800.00 1,800.00 1,800.00 - 128.00 4.00 - 816.00 - 5,000.00	SF LS SF LS SF EA LS SF LS SF LS SF LS	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	38.00 - 22.60 18.45 - 38.00 00.00 - 18.45	5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5	\$ 22,800 \$ - \$ 9,120 \$ - \$ 40,680 \$ - \$ 33,210 \$ - \$ 4,864 \$ 2,400 \$ - \$ 130,000 \$ 5 - \$ 130,000 \$ 50,000	\$ 3.26	COLUMN PIERS COLUMN PIERS 48" HIGH WAINSCOT
CSU EXTENSION LOBBY EXTERIOR WALLS VENE EXTERIOR WALLS VENE EXTERIOR CMU WALLS: EXTERIOR WALLS VENE ERONT ENTRY CANOP EXTERIOR WALLS VENE COUNT OF COLUMN IS OUTDOOR COUNTYAR EXTERIOR WALLS VENE BUILDING REMODEL INTERIOR CMU WALLS: SUBTOTAL 0- 0050000 - METALS LOBBY VESTIBULE ADD	VESTIBULE R 2" MANU ADDITION*** S" TH ER -4" ARCH" Y************************************	E ADDITION****** I HINSTONE I L CMU E THINSTONE L CMU L CMU EW WALL ***	240.00 1,800.00 1,800.00 4.00 816.00 5,000.00	SF LS SF SF LS SF LS SF LS LS LS LS	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	38.00	9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9	\$ 22,800 \$ - \$ 9,120 \$ 33,210 \$ 33,210 \$ - \$ 2,400 \$ 130,000 \$ 50,000 \$ 308,129	\$ 3.26	COLUMN PIERS COLUMN PIERS 48" HIGH WAINSCOT
CSU EXTENSION LOBBY EXTERIOR WALLS VENE EXTERIOR WALLS VENE EXTERIOR CMU WALLS: EXTERIOR WALLS VENE ERONT ENTRY CANOP EXTERIOR WALLS VENE COUNT OF COLUMN IS OUTDOOR COUNTYAR EXTERIOR WALLS VENE BUILDING REMODEL INTERIOR CMU WALLS: SUBTOTAL 0- 0050000 - METALS LOBBY VESTIBULE ADD	VESTIBULE R 2" MANU ADDITION*** S" TH ER -4" ARCH" Y************************************	E ADDITION****** I HINSTONE I L CMU E THINSTONE L CMU L CMU EW WALL ***	1,800.00 1,800.00 1,800.00 1,800.00 - 128.00 4.00 - 816.00 - 5,000.00	SF LS SF LS SF EA LS SF LS SF LS SF LS	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	38.00 - 22.60 18.45 - 38.00 00.00 - 18.45	5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5	\$ 22,800 \$ - \$ 9,120 \$ 33,210 \$ 33,210 \$ 2,400 \$ 5 15,055 \$ - \$ 130,000 \$ 50,000 \$ 308,129	\$ 3.26	COLUMN PIERS COLUMN PIERS 48" HIGH WAINSCOT
CSU EXTENSION LOBBY EXTERIOR WALLS-VINE VEHICLE SALILS-VENE EXTERIOR CMU WALLS- EXTERIOR WALLS-VENE ERRONT ENTRY CANOP EXTERIOR WALLS-VENE OUTDOOR COURTYAR EXTERIOR WALLS-VENE BUILDING REMODEL EXTERIOR WALLS-VENE BUILDING REMODEL EXTERIOR CMU WALLS- INTERIOR CMU WAL	V VESTIBULE RE 2° MANU MADDITION** 8° TH ER 4° ARCH 'Y* Y**********************************	E ADDITION****** I HINSTONE I L CMU E THINSTONE L CMU L CMU EW WALL ***	240.00 1,800.00 1,800.00 4.00 816.00 5,000.00	SF LS SF SF LS SF LS SF LS LS LS LS	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	38.00	3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3	\$ 22,800 \$ - \$ 9,120 \$ - \$ 40,680 \$ 33,210 \$ 5 \$ 4,864 \$ 2,400 \$ 5 \$ 5 \$ 5 \$ 5 \$ 5 \$ 5 \$ 5 \$ 5	\$ 3.26	COLUMN PIERS COLUMN PIERS 48" HIGH WAINSCOT
CSU EXTENSION LOBBY EXTERIOR WALLS-VENE EXTERIOR CMU WALLS- EXTERIOR CMU WALLS- EXTERIOR WALLS-VENE ERRONT ENTRY CANOP EXTERIOR WALLS-VENE DUTDOOR COURTYAR EXTERIOR WALLS-VENE BUILDING EMPODEL INTERIOR CMU WALLS- INTERIOR CMU	VESTIBULER 2" MANU MDDITION*** S" TH ER -4" ARCH Y** V******* ER -2" MANU VIER CAPS DS******** S" TH G CMU-AT N HOROMORE	E ADDITION***** F THINSTONE L CMU F THINSTONE L CMU L CMU EW WALL DDINRY ***	240.00 1,800.00 1,800.00 128.00 128.00 10.00 10.00 10.00 10.00 10.00 10.00 10.00 10.00	SF LS SF LS SF EA LS SF LS SF LS TNS	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	22.60 18.45 	3 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5	\$ 22,800 \$ 9,120 \$ 10,680 \$ 33,210 \$ 4,680 \$ 2,400 \$ 15,055 \$ 130,000 \$ 308,129 \$ 30,641 \$ 23,256	\$ 3.26	COLUMN PIERS COLUMN PIERS 48" HIGH WAINSCOT SECURE WALLS
CSU EXTENSION LOBBY EXTERIOR WALLS-VENE VEHICLE SALLS-VENE EXTERIOR CMU WALLS- FRONT ENTRY CANOP EXTERIOR WALLS-VENE FRONT ENTRY CANOP EXTERIOR WALLS-VENE BUILDING REMODEL** BUILDING REMODEL** INTERIOR CMU WALLS- EXTERIOR WALLS-VENE BUILDING REMODEL** OSTODO METALS LOBBY VESTIBULE ADI STRUCTURAL STEEL CO STRUCTURAL STEEL CO STRUCTURAL STEEL CO STRUCTURAL STEEL CO	V VESTIBULER 22 MANU MDDITION*** 8° TH ER -4" ARCH' Y** V***** ER -2" MANU PIER CAPS DOS**** 05** 8° TH G CMU-AT N HO0000 MASC ULUMNS-1.5% OGF-10#/SF AMING-HUN GLES	E ADDITION****** F THINSTONE F THINSTONE L CMU L CMU EW WALL DNRY SSE G LINTELS/POUR	240.00 1,800.00 1,800.00 1,800.00 4.00 816.00 5,000.00 1.00	SF LS SF EA LS SF LS SF LS TNS TNS	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	222.60 - 222.60 - 38.00 - 38.00 - 38.00 - 18.45 	3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3	\$ 22,800 \$ 9,120 \$ 33,210 \$ 33,210 \$ - \$ 4,866 \$ 5 2,400 \$ - \$ 15,055 \$ - \$ 15,055 \$ - \$ 5 15,055 \$ - \$ 5 15,055 \$ - \$ 5 2,400 \$ 5 3,641 \$ 5 3,641 \$ 5 3,641 \$ 5 3,256 \$ 5 3,350	\$ 3.26	COLUMN PIERS COLUMN PIERS 48" HIGH WAINSCOT SECURE WALLS
CSU EXTENSION LOBBY EXTERIOR WALLS VENE EVERTICE ALLYPORT / EXTERIOR CMU WALLS- EXTERIOR WALLS-VENE ERRONT ENTRY CANOP EXTERIOR WALLS-VENE EXTERIOR WALLS-VENE BUILDING RECOLUMN I OUTDOOR COURTYAR EXTERIOR WALLS-VENE BUILDING REMODEL EXTERIOR WALLS-VENE BUILDING REMODEL EXTERIOR WALLS-VENE BUILDING REMODEL EXTERIOR WALLS- UNITERIOR CMU WALLS- UNITERIOR CMU WALLS- SUBTOTAL- OUTDOOR - METALS LOBBY VESTIBULE ADD STRUCTURAL STEEL FR EXTERIOR WALLS- EXTERIOR WALLS	VESTIBULER 2" MANU MDDITION**** 8" TH ER -4" ARCH' Y=*************** ER -2" MANU PIER CAPS DS********* ER -4" ARCH S************* 10000 MASC DITION****** LUMNS-1.5# AMING- HUN IGLES MAINING- BRA MANNG- BRA MANNG- BRA	E ADDITION****** I HINSTONE I HINSTONE I CMU L CMU EW WALL DNRY ** (SF G LINTELS/POUR CE FRAMING	240.00 1.800.00 1.800.00 1.800.00 1.800.00 1.800.00 1.00 1	SF LS SF EA LS SF LS SF LS SF LS SF LS TNS TNS TNS	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$		9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9	\$ 22,800 \$ - \$ 9,120 \$ 33,210 \$ 33,210 \$ 2,400 \$ 5 . \$ 15,055 \$ 5 . \$ 130,000 \$ 308,129 \$ 3,641 \$ 3,3450 \$ 3,3450 \$ 3,3450	\$ 3.26	COLUMN PIERS COLUMN PIERS 48" HIGH WAINSCOT SECURE WALLS
CSU EXTENSION LOBB: EXTERIOR WALLS-VINE VEHICLE SALILS-VORT EXTERIOR CMU WALLS-VENE EXTERIOR WALLS-VENE EXTERIOR WALLS-VENE EXTERIOR WALLS-VENE EXTERIOR WALLS-VENE EXTERIOR WALLS-VENE BUILDING REMODEL INTERIOR CMU WALLS-VENE BUILDING REMODEL PATCH/REPAIR EXISTIN OPENINGS	VESTIBULER 2" MANU MDDITION**** 8" TH ER -4" ARCH' Y=*************** ER -2" MANU PIER CAPS DS********* ER -4" ARCH S************* 10000 MASC DITION****** LUMNS-1.5# AMING- HUN IGLES MAINING- BRA MANNG- BRA MANNG- BRA	E ADDITION****** I HINSTONE I HINSTONE I CMU L CMU EW WALL DNRY ** (SF G LINTELS/POUR CE FRAMING	240.00 1,800.00 1,800.00 1,800.00 4.00 816.00 5,000.00 1.00	SF LS SF EA LS SF LS SF LS TNS TNS	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	222.60 - 222.60 - 38.00 - 38.00 - 38.00 - 18.45 	3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3	\$ 22,800 \$ 9,120 \$ 1,000 \$ 33,210 \$ 2,400 \$ 15,055 \$ 130,000 \$ 308,129 \$ 23,256 \$ 3,450 \$ 3,385 \$ 5,841	\$ 3.26	COLUMN PIERS COLUMN PIERS 48" HIGH WAINSCOT SECURE WALLS

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 94,600.00

DESCRIPTION	QTY	U/M	UNIT PRICE		TOTALS	COST/SF	NOTES/COMMENTS
KMART BUILDING-REMODEL & ADDITIONS-R1							
050000 - METALS							
CSU EXTENSION LOBBY VESTIBULE ADDITION******		LS	s -		s -		
STRUCTURAL STEEL COLUMNS-1.5#/SF	0.13	TNS	\$ 3,350.00		\$ 442		
STEEL WF FRAMING- ROOF-10#/SF	0.88	TNS	\$ 3,210.00		\$ 2,825		
STRUCTURAL STEEL FRAMING- HUNG LINTELS/POUR STOPS/DECK EDDGE ANGLES	0.25	TNIC	\$ 3,450.00		\$ 863		ALLOW
STRUCTURAL STEEL FRAMING- BRACE FRAMING	0.50	TNS	\$ 3,385.00		\$ 1,693		1000#/LOCATION
METAL ROOF DECKING - 1.5"/20 GAGE	338.80	SF	\$ 2.95		\$ 999		
MISC METALS	176.00	SF	\$ 3.75		\$ 660		
VEHICLE SALLYPORT ADDITION******		LS	s -		\$ -		
STEEL JOIST FRAMING- ROOF-3.5#/SF	1.75	TNS	\$ 2,750.00		\$ 4,813		
STRUCTURAL STEEL FRAMING- HUNG LINTELS/POUR STOPS/DECK EDDGE ANGLES	1.00	TNS	\$ 3,450.00		\$ 3,450		ALLOW
METAL ROOF DECKING - 1.5"/20 GAGE	1,100.00	SF	\$ 2.95		\$ 3,245		THEO II
MISC METALS	1,000.00	SF	\$ 3.75		\$ 3,750		
FRONT ENTRY CANOPY*******	1,000.00	LS	\$ -		\$ 3,730		
STRUCTURAL STEEL FRAMING- BEAMS-12#/SF	2.78	TNS	\$ 3,385.00		\$ 9,424		ENTRY CANOPY-40' X 12'
METAL ROOF DECKING - 3"/18 GAGE	510.40	SF	\$ 3,383.00		\$ 1,965		LITTE CANOLITO A 12
OUTDOOR COURTYARDS*******	310.40	LS	\$ -		\$ 1,903		
TEMP SHORING-EXISTING ROOF FRAMING	2.00	LS	\$ 7,500.00		\$ 15,000		
REMOVE EX ROOF FRAMING & DECK	1,254.00	SF	\$ 11.00	l	\$ 13,794		
WF BEAM FRAMING- NEW PERIM SPANDREL BMS	4.08	TNS	\$ 5,500.00	1	\$ 22,440		ALLOW 40#/LF
STRUCTURAL STEEL FRAMING- HUNG LINTELS/POUR	4.00	1103	3 3,300.00		3 22,440		ALLOW 40#/LF
STOPS/DECK EDDGE ANGLES	1.00	TNS	\$ 3,450.00		\$ 3,450		ALLOW
BUILDING REMODEL*******		LS	s -		s -		
MISC STRUCTURAL REINF/UPGRADE TO ROOF	94,600.00	SF	\$ 0.75		\$ 70,950		SUPPORTS-NEW RTU'S ETC.
UPGRADE ROOF DECK CONNECTIONS TO EX ROOF FRA	94,600.00	SF	\$ 0.50		\$ 47,300		WIND UPLIFT IMPROVEMENTS
MISC METALS		SF	\$ 2.20		\$ 208,120		
SUBTOTAL- 050000 METALS					\$ 460,189	\$ 4.86	
060000 - WOOD & PLASTICS							
LOBBY VESTIBULE ADDITION******	-	LS	\$ -		\$ -		
PERIMETER ROOF BLOCKING-TREATED 2X	400.00	LF	\$ 4.85		\$ 1,940		
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK	1,449.00	SF	\$ 20.00		\$ 28,980		
CSU EXTENSION LOBBY VESTIBULE ADDITION******	-	LS	\$ -		\$ -		
PERIMETER ROOF BLOCKING-TREATED 2X	156.00	LF	\$ 4.85		\$ 757		
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK	176.00	SF	\$ 6.00		\$ 1,056		
VEHICLE SALLYPORT ADDITION******		LS	\$ -		\$ -		
PERIMETER ROOF BLOCKING-TREATED 2X	260.00	LF	\$ 4.85		\$ 1,261		
PERIMETER COPING NAILERS/SHIMS	90.00	LF	\$ 8.00		\$ 720		
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK	1,000.00	SF	\$ 3.00		\$ 3,000		
FRONT ENTRY CANOPY*******		LS	s -		\$ -		
PERIMETER ROOF BLOCKING-TREATED 2X	208.00	LF	\$ 4.85		\$ 1,009		
PERIMETER COPING NAILERS/SHIMS	104.00	LF	\$ 8.00		\$ 832		
PLYWOOD SHEATHING-BACK SIDE OF PARAPETS	208.00	SF	\$ 2.15		\$ 447		
TIMBER COLUMNS & CONNECTION STEEL	4.00	EA	\$ 1,800.00		\$ 7,200		
OUTDOOR COURTYARDS*******		LS	\$ -		\$ -		
PERIMETER ROOF BLOCKING-TREATED 2X	408.00	LF	\$ 4.85		\$ 1,979		
PERIMETER COPING NAILERS/SHIMS	204.00	LF	\$ 8.00		\$ 1,632		
PLYWOOD SHEATHING-BACK SIDE OF PARAPETS	408.00	SF	\$ 2.15		\$ 877		
BUILDING REMODEL*******	-	LS	s -		s -		
PERIMETER ROOF BLOCKING-TREATED 2X	2,606.00	LF	\$ 4.85		\$ 12,639		
PERIMETER COPING NAILERS/SHIMS	1,303.00	LF	\$ 8.00		\$ 10,424		
PLYWOOD SHEATHING-BACK SIDE OF PARAPETS	-	SF	\$ 1.90		\$ -		
MISC BLOCKING/NAILERS-INTERIOR	94,600.00	SF	\$ 0.55		\$ 52,030		
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK	94,600.00	SF	\$ 4.50		\$ 425,700		GENERAL MW ALLOWANCE
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK	3.00	EA	\$150,000.00		\$ 450,000		COURTROOMS/JUDGES CHAMB
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK	1.00	EA	\$150,000.00		\$ 150,000		COMMISSION CHAMBERS
CURTOTAL OCCOOR WOOD & PT 107700		-			6 1152700	ė 12.10	
SUBTOTAL- 060000 WOOD & PLASTICS		 		-	\$ 1,152,483	\$ 12.18	
		1	1	ľ		i)	1

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 94,600.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
KMART BUILDING-REMODEL & ADDITIONS-R1						
070000 - THERMAL & MOISTURE PROTECTION						
LOBBY VESTIBULE ADDITION******		LS	\$ -	s -		
FOUNDATION INSULATION-2" TH RIGID	222.00	SF	\$ 2.80	\$ 622		
PERIMETER FDN DAMPPROOFING	222.00	SF	\$ 2.10	\$ 466		
CI WEATHER BARRIER/INSULATION- XARMOR-2" TH	2,442.00	SF	\$ 5.25	\$ 12,821		
BUILDING INSULATION-TO EXTER WALLS	2,442.00	SF	\$ 2.85	\$ 6,960		2" SPRAY FOAM-STUD CAVITI
STUCCO PLASTER WALL VENEER	1,842.00	SF	\$ 17.00	\$ 31,314		
MEMBRANE ROOFING- 60 MIL TPO	1,800.00	SF	\$ 24.00	\$ 43,200		ROOFING/FLASHING/TRIM
APPLIED FIREPROOFING		SF	s -	s -		N/A-EXCLUDED
CAULKING & SEALANTS	1,449.00	SF	\$ 0.45	\$ 652		
CSU EXTENSION LOBBY VESTIBULE ADDITION******	-	LS	\$ -	s -		
FOUNDATION INSULATION-2" TH RIGID	76.00	SF	\$ 2.80	\$ 213		
PERIMETER FDN DAMPPROOFING	76.00	SF	\$ 2.10	\$ 160		
CI WEATHER BARRIER/INSULATION- XARMOR-2" TH	760.00	SF	\$ 5.25	\$ 3,990		
BUILDING INSULATION-TO EXTER WALLS	760.00	SF	\$ 2.85	\$ 2,166		2" SPRAY FOAM-STUD CAVITI
STUCCO PLASTER WALL VENEER	520.00	SF	\$ 17.00	\$ 8,840		2 STATE TOTAL STODE CHATTA
MEMBRANE ROOFING- 60 MIL TPO	308.00	SF	\$ 24.00	\$ 7,392		ROOFING/FLASHING/TRIM
APPLIED FIREPROOFING	-	SF	s -	s -		N/A-EXCLUDED
CAULKING & SEALANTS	176.00	SF	\$ 0.45	\$ 79		
VEHICLE SALLYPORT ADDITION******	170.00	I S	¢ .	e /9		
	180.00	SF	\$ 2.80	\$ 504		
FOUNDATION INSULATION-2" TH RIGID	180.00	SF	\$ 2.80 \$ 2.10	\$ 378		
PERIMETER FON DAMPPROOFING		-				2" BICID CAUTTY DICIT
BUILDING INSULATION-TO EXTER WALLS	1,800.00	SF	\$ 4.10	\$ 7,380 \$ 18,000		3" RIGID CAVITY INSUL
MEMBRANE ROOFING- 60 MIL TPO	1,000.00	SF	\$ 18.00			ROOFING/FLASHING/TRIM
APPLIED FIREPROOFING		SF	s -	s -		N/A-EXCLUDED
CAULKING & SEALANTS	1,000.00	SF	\$ 0.45	\$ 450		
FRONT ENTRY CANOPY*******	•	LS	\$ -	\$ -		
METAL WALL PANELS-ACM -4MM TH	270.00		\$ 64.00	\$ 17,280		FASCIA PANELS-CANOPY
STUCCO VENEER PLASTER SOFFITS	464.00	SF	\$ 16.00	\$ 7,424		CANOPY SOFFITS
STANDING SEAM METAL ROOFING	464.00	SF	\$ 24.00	\$ 11,136		
APPLIED FIREPROOFING		SF	s -	\$ -		N/A-EXCLUDED
OUTDOOR COURTYARDS********		LS	\$ -	s -		
FOUNDATION INSULATION-2" TH RIGID	408.00	SF	\$ 2.80	\$ 1,142		
PERIMETER FDN DAMPPROOFING	408.00	SF	\$ 2.10	\$ 857		
CI WEATHER BARRIER/INSULATION- XARMOR-2" TH	4,080.00	SF	\$ 5.25	\$ 21,420		
BUILDING INSULATION-TO EXTER WALLS	4,080.00	SF	\$ 2.85	\$ 11,628		2" SPRAY FOAM-STUD CAVITI
STUCCO PLASTER WALL VENEER	3,264.00	SF	\$ 17.50	\$ 57,120		WALLS ABOVE CMU WAINSCO
BUILDING REMODEL*******		LS	s -	s -		
BUILDING INSULATION-TO EXTER WALLS	26,060.00	SF	\$ 4.20	\$ 109,452		3" SPRAY FOAM-STUD CAVITI
METAL WALL PANELS- HVAC EQUIP SCREENWALL	1,920.00	SF	\$ 24.00	\$ 46,080		80' X 40' ROOF SCREEN AREA
ROOFING- TEAR-OFF EXISTING	94,600.00	SF	\$ 1.55	\$ 146,630		COMPLETE SYS REMOVAL
MEMBRANE ROOFING- 60 MIL TPO- W/INSUL	,			.,		
FLASHINGS/TRIM	94,600.00	SF	\$ 17.00	\$ 1,608,200		ROOF REPLACEMENT
ROOF MOUNTED SKYLKIGHTS	25.00	EA	\$ 1,525.00	\$ 38,125		
ROOF ACCESS HATCH	2.00	EA	\$ 2,410.00	\$ 4,820		
APPLIED FIREPROOFING		SF	s -	\$ -		N/A-EXCLUDED
CAULKING & SEALANTS	94,600.00	SF	\$ 0.45	\$ 42,570		
				1		
SUBTOTAL- 070000 THERMAL & MOISTURE	PROTECTION			\$ 2,269,470	\$ 23.99	
080000 - DOORS & WINDOWS						
LOBBY VESTIBULE ADDITION******		LS	s -	s -		
DOORS/FRAMES/HW-INTERIOR	1.00	EA	\$ 2,050.00	\$ 2,050		
MISC INTERIOR WINDOWS/GLAZING	1,449.00	SF	\$ 0.35	\$ 507		
ENTRY STOREFRONTS-ALUM/GLASS	216.00	SF	\$ 60.00	\$ 12,960		
DOORS/FRAMES/HW-STOREFRONTS	14.00		\$ 3,400.00	\$ 47,600		EXTERIOR ENTRIES
AUTO DOOR OPERATORS	6.00	EA	\$ 1,550.00	\$ 9,300		MAIN ENTRY
	68.00	SF	4 2,000.00	\$ 3,808		
ALUM STOREFRONTS-FIXED						EXTER WINDOWS
ALUM CURTAINWALL-FIXED	324.00					EXTER WINDOW WALLS
CSU EXTENSION LOBBY VESTIBULE ADDITION******	****	LS	\$ -	\$ -		
ENTRY STOREFRONTS-ALUM/GLASS	160.00	SF	\$ 60.00	\$ 9,600		rumpnion mar
DOORS/FRAMES/HW-STOREFRONTS AUTO DOOR OPERATORS	2.00 3.00	EA EA	\$ 3,400.00 \$ 1,550.00	\$ 6,800 \$ 4,650		EXTERIOR ENTRIES

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 94,600.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
KMART BUILDING-REMODEL & ADDITIONS-R1	~~~	-,				, , , , , , , , , , , , , , , , , , , ,
080000 - DOORS & WINDOWS						
VEHICLE SALLYPORT ADDITION******	-	LS	s -	\$ -		
DOORS/FRAMES/HW-INTERIOR	2.00	EA	\$ 5,500.00	\$ 11,000		SECURITY RATED OPENING
DOORS/FRAMES/HW-EXTERIOR	1.00	EA	\$ 5,750.00	\$ 5,750		SECURITY RATED OPENING
OVERHEAD DOORS- COILING/INSUL/MOTOR OP	2.00	EA	\$ 12,000.00	\$ 24,000		HIGH SPEED COILING DOORS
OUTDOOR COURTYARDS*******	-	LS	s -	\$ -		
ALUM STOREFRONT WINDOWS-FIXED-6' X 8'	768.00	SF	\$ 58.00	\$ 44,544		NEW EXTER PUNCHED WINDOWS
ENTRY STOREFRONTS-ALUM/GLASS	64.00	SF	\$ 60.00	\$ 3,840		
DOORS/FRAMES/HW-STOREFRONTS	2.00	EA	\$ 3,400.00	\$ 6,800		ACCESS TO COURTYARDS
BUILDING REMODEL*******	-	LS	s -	\$ -		
DOORS/FRAMES/HW-INTERIOR	325.00	FA	\$ 2,050.00	\$ 666,250		
DOORS/FRAMES/HW-EXTERIOR	10.00	FA	\$ 2,350.00	\$ 23,500		
DOORS/FRAMES/HW-INTERIOR	12.00	EA	\$ 3,500.00	\$ 42,000		ADD FOR SECURITY RATED
MISC INTERIOR WINDOWS/GLAZING	94,600.00	SF	\$ 0.55	\$ 52,030		TIDD TON SECONTT WITED
ALUM STOREFRONT WINDOWS-FIXED-6' X 8'	4,992.00	SF	\$ 58.00	\$ 289,536		NEW EXTER PUNCHED WINDOWS
ALUM STOREFRONTS-FIXED	200.00	SF	\$ 58.00	\$ 11,600		EXTER WINDOW WALLS
DOORS/FRAMES/HW-STOREFRONTS	2.00	FA	\$ 3,400.00	\$ 6,800		EXTERIOR ENTRIES
AUTO DOOR OPERATORS	3.00	EA	\$ 1,550.00	\$ 4,650		MAIN ENTRY
	3.00			\$ 4,050 \$ -		
ALUM LOUVERED SUNSHADES- WALL MTD-FIXED	-	LF	\$ 190.00			N/A-EXCLUDED
CURTOTAL AGRACA DOORS &		 		£ 1210.00=	£ 12.00	
SUBTOTAL- 080000 DOORS & WINDOWS		 		\$ 1,318,087	\$ 13.93	
			1			
090000 - FINISHES				_		
LOBBY VESTIBULE ADDITION******	-	LS	\$ -	s -		
EXTERIOR WALLS-6" LG FRAMING/SHEATHING/DW	2,442.00	SF	\$ 14.40	\$ 35,165		
INTER PTNS/ FLOOR/WALL/BASE/CEILING FINISHES	1,449.00	SF	\$ 34.00	\$ 49,266		
CSU EXTENSION LOBBY VESTIBULE ADDITION*****		LS	\$ -	\$ -		
EXTERIOR WALLS-6" LG FRAMING/SHEATHING/DW	760.00	SF	\$ 14.40	\$ 10,944		
INTER PTNS/ FLOOR/WALL/BASE/CEILING FINISHES	176.00	SF	\$ 28.00	\$ 4,928		
VEHICLE SALLYPORT ADDITION******	-	LS	\$ -	\$ -		
INTER PTNS/ FLOOR/WALL/BASE/CEILING FINISHES	1,000.00	SF	\$ 22.00	\$ 22,000		
FRONT ENTRY CANOPY*******	-	LS	\$ -	\$ -		
CANOPY SOFFIT/FASCIA FRAMING & SHEATHING	734.00	SF	\$ 18.00	\$ 13,212		CANOPY SOFFITS/FASICAS
OUTDOOR COURTYARDS********	-	LS	\$ -	\$ -		
EXTERIOR WALLS-6" LG FRAMING/SHEATHING/DW	4,488.00	SF	\$ 14.40	\$ 64,627		
BUILDING REMODEL*******	-	LS	s -	\$ -		
EXTERIOR WALLS- FURRING 3 5/8" FRAMING + GYP	20,000,00	C.C.	\$ 7.35	6 101 541		
BOARD	26,060.00	SF SF	\$ 7.35 \$ 1.35	\$ 191,541 \$ 35,181		
RE-PAINT EX EXTERIOR CMU	26,060.00		1			
INTER PTNS/ FLOOR/WALL/BASE/CEILING FINISHES	94,600.00	SF	\$ 46.00	\$ 4,351,600		
SUBTOTAL- 090000 FINISHES				\$ 4,778,464	\$ 50.51	
DIVISION 100000 - SPECIALTIES				_		
LOBBY VESTIBULE ADDITION******		LS	\$ -	\$ -		
MISCELLANEOUS SPECIALTIES	1,449.00	SF	\$ 2.40	\$ 3,478		
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
MISCELLANEOUS SPECIALTIES	176.00	SF	\$ 2.40	\$ 422	1	
VEHICLE SALLYPORT ADDITION******	-	LS	s -	\$ -		
MISCELLANEOUS SPECIALTIES	1,000.00	SF	\$ 2.40	\$ 2,400		
BUILDING REMODEL*******	-	LS	\$ -	\$ -		
MISCELLANEOUS SPECIALTIES	94,600.00	SF	\$ 3.80	\$ 359,480		
VISUAL DISPLAY SURFACES	94,600.00	SF	\$ -	INCLUDED		
TOILET PTNS/TOILET ACCESSORIES	94,600.00	SF	s -	INCLUDED		
WALL & CORNER PROTECTION	94,600.00	SF	s -	INCLUDED		
WALL & CORNER I ROTECTION		SF	\$ -	INCLUDED		
FIRE PROTECTION CABINETS/EXTINGUISHERS	94,600.00					
	94,600.00 94,600.00	SF	\$ -	INCLUDED		
FIRE PROTECTION CABINETS/EXTINGUISHERS			\$ - \$ -	INCLUDED INCLUDED		
FIRE PROTECTION CABINETS/EXTINGUISHERS ROOM ID SIGNAGE/WAYFINDING	94,600.00	SF	-			N/A-EXCLUDED
FIRE PROTECTION CABINETS/EXTINGUISHERS ROOM ID SIGNAGE/WAYFINDING LOCKERS	94,600.00	SF SF	s -	INCLUDED		N/A-EXCLUDED

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-18
BGSF 94,600.00

PECCRIPTION	OTV	11/04	IBUT PRICE	TOTAL	COCT /CF	NOTES (COMPUTE
DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
KMART BUILDING-REMODEL & ADDITIONS-R1				+		
DIVISION 110000 - EQUIPMENT						
LOBBY VESTIBULE ADDITION******	-	LS	\$ -	\$ -		
MISCELLANEOUS EQUIPMENT	1,449.00	SF	\$ 0.25	\$ 362		
SECURITY EQUIPMENT- XRAY MACHINES/MAGNETOMETER	_	LS	s -	s -		N/A-OWNER FF & E
	-	LS	\$ -	\$ -		N/A-OWNER FF & E
CSU EXTENSION LOBBY VESTIBULE ADDITION******	-			s -		110
MISCELLANEOUS EQUIPMENT	-	SF	\$ 0.25			N/A
VEHICLE SALLYPORT ADDITION******	-	LS	\$ -	\$ -		
MISCELLANEOUS EQUIPMENT	1,000.00	SF	\$ 0.25	\$ 250		
BUILDING REMODEL*******	-	LS	\$ -	\$ -		
MISCELLANEOUS EQUIPMENT	94,600.00	SF	\$ 0.25	\$ 23,650		
RESIDENTIAL APPLIANCES	-	EA	\$ 4,500.00	\$ -		N/A-OWNER FF & E
FOOD SERVICE EQUIPMENT-COMMERCIAL		LS	s -	S -		N/A-EXCLUDED
LAUNDRY EQUIPMENT	-	LS	s -	s -		N/A-EXCLUDED
MEDICAL EQUIPMENT		LS	s -	s -		N/A-OWNER FF & E
AV EQUIPMENT-	-	LS	s -	s -		N/A-OWNER FF & E
FACILITY MAINT EQUIPMENT		LS	s -	s -		N/A-OWNER FF & E
LOADING DOCK EQUIPMENT		LS	s -	s -		N/A-EXCLUDED
				1		,
SUBTOTAL- 110000 EQUIPMENT				\$ 24,262	\$ 0.26	
SCETOTAL TIOOO EQUITALNI				3 24,202	9 0.26	
DIVISION 120000 FURNISHINGS			 			
DIVISION 120000 - FURNISHINGS						
LOBBY VESTIBULE ADDITION******	-	LS	\$ -	\$ -		
FLOOR/ENTRY MATS	1.00	LS	\$ 6,000.00	\$ 6,000		
WINDOW TREATMENTS-ROLLER SHADES/BLINDS	-	SF	\$ 24.30	\$ -		N/A-EXCLUDED
LOOSE FURNITURE FIXTURES & EQUIPMENT	-	LS	\$ -	s -		N/A-OWNER FF & E
CSU EXTENSION LOBBY VESTIBULE ADDITION******	-	LS	\$ -	\$ -		
FLOOR/ENTRY MATS	1.00	LS	\$ 1,500.00	\$ 1,500		
VEHICLE SALLYPORT ADDITION******	-	LS	\$ -	s -		
DEETENTION FURNISHINGS & EQUIPMENT		LS	s -	s -		SEE HM DOORS/FRS/HW
BUILDING REMODEL*******		LS	s -	s -		
FLOOR/ENTRY MATS	1.00	LS	\$ 2,000.00	\$ 2,000		
WINDOW TREATMENTS-ROLLER SHADES/BLINDS	1.00	SE	\$ 21.00	\$.		N/A-OWNER FF & E
DEETENTION FURNISHINGS & EQUIPMENT	1.00	LS	\$ 65,000.00	\$ 65,000		IV/A-OWNER IT & E
DEETENTION FORNISHINGS & EQUIPMENT	1.00	LJ	3 03,000.00	3 63,000		
CURTOTAL 120000 FURNICURICS				\$ 74,500	6 0.70	
SUBTOTAL- 120000 FURNISHINGS				\$ 74,500	\$ 0.79	
DIVISION 130000 - SPECIAL CONSTRUCTION						
LOBBY VESTIBULE ADDITION******	-	LS	\$ -	\$ -		
PRE-ENGINEERED METAL BUILDING PACKAGE	-	SF	s -	S -		N/A-EXCLUDED
PHOTOVOLTAIC POWER SYSTEM	-	LS	\$ -	s -		N/A-EXCLUDED
CSU EXTENSION LOBBY VESTIBULE ADDITION******	-	LS	\$ -	\$ -		
PRE-ENGINEERED METAL BUILDING PACKAGE		SF	s -	s -		N/A-EXCLUDED
PHOTOVOLTAIC POWER SYSTEM	-	LS	s -	s -		N/A-EXCLUDED
VEHICLE SALLYPORT ADDITION******	-	LS	\$ -	\$ -		
PRE-ENGINEERED METAL BUILDING PACKAGE	-	SF	s -	s -		N/A-EXCLUDED
X-RAY PROTECTION	_	SF	s -	s -		N/A-EXCLUDED
PHOTOVOLTAIC POWER SYSTEM		LS	s -	s -	1	N/A-EXCLUDED
		LS	s -	\$ -		IN/A-LACLUDED
BUILDING REMODEL************************************	-		7			N/A EVOLUDED
X-RAY PROTECTION	-	SF	s -	s -		N/A-EXCLUDED
PHOTOVOLTAIC POWER SYSTEM	-	LS	s -	s -		N/A-EXCLUDED
				\$ -	\$ -	
SUBTOTAL- 130000 SPECIAL CONSTRUCTION	ON				l	
	ON					
SUBTOTAL- 130000 SPECIAL CONSTRUCTION DIVISION 140000 - CONVEYING SYSTEMS	DN					
	- -	EA	s -	s -		N/A-EXCLUDED
DIVISION 140000 - CONVEYING SYSTEMS	- -	EA EA	s - s -	\$ - \$ -		N/A-EXCLUDED N/A-EXCLUDED
DIVISION 140000 - CONVEYING SYSTEMS HYDRAULIC ELEVATOR-2 STOP	- -		-			
DIVISION 140000 - CONVEYING SYSTEMS HYDRAULIC ELEVATOR-2 STOP HC WHEEL CHAIR LIFT	- -		-	S -	s -	
DIVISION 140000 - CONVEYING SYSTEMS HYDRAULIC ELEVATOR-2 STOP	- -		-	S -	\$ -	
DIVISION 140000 - CONVEYING SYSTEMS HYDRAULIC ELEVATOR-2 STOP HC WHEEL CHAIR LIFT	- -		-	S -	\$ -	
DIVISION 140000 - CONVEYING SYSTEMS HYDRAULIC ELEVATOR-2 STOP HC WHEEL CHAIR LIFT	- -		-	S -	s -	
DIVISION 140000 - CONVEYING SYSTEMS HYDRAULIC ELEVATOR-2 STOP HC WHEEL CHAIR LIFT	- -		-	S -	\$ -	
DIVISION 140000 - CONVEYING SYSTEMS HYDRAULIC ELEVATOR-2 STOP HC WHEEL CHAIR LIFT	- -		-	S -	\$ -	

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 94,600.00

Γ	DESCRIP	TION			QTY	U/M	UNI	T PRICE		TOTALS	COST/SF	NOTES/COMMENTS
KMART B	BUILDIN	IG-REMO	DDEL & A	ADDITIONS-R1								
DIVISION	210000	- FIRE S	UPPRESS	SION SYSTEMS								
LOBBY VE						LS	s		s	-		
FIRE SPRIN					1,449.00	SF	s	4.20	S	6,086		
FIRE SPRIN						SF	s	- 1.20	S	-		N/A-EXCLUDED
				E ADDITION******		LS	\$		s			TYTE DELICE OF THE PARTY OF THE
FIRE SPRIN				LADDITION	176.00	SF	s	4.20	s	739		
FIRE SPRIN					170.00	SF	s	4.20	S	733		N/A-EXCLUDED
VEHICLE S				****		LS	\$		\$	-		N/A-EXCLUDED
					1,000.00	SF	S		\$			
FIRE SPRIN					1,000.00			6.50		6,500		VA PROTERE
FIRE SPRIN						SF	S		\$			N/A-EXCLUDED
BUILDING						LS	\$	-	\$	-		
FIRE SPRIN					94,600.00	SF	S	1.85	\$	175,010		MODIFY EX SYSTEM
FIRE SPRIN						SF	S	-	\$			N/A-EXCLUDED
FIRE SUPP				AGENT	1.00	LS		5,000.00	\$	45,000		CENTRAL IT/TECHNOLOGY RM
FIRE SPRIN	NKLERS-	IN RACK	SYSTEM			SF	S		\$			N/A-EXCLUDED
FIRE SPRIN	NKLERS-	FIRE/JOC	KEY PUN	ΔP		LS	S		\$	-		N/A-EXCLUDED
FIRE SPRIN	NKLERS-	WATER S	TORAGE	TANK		LS	S		\$	-		N/A-EXCLUDED
s	SUBTOT	AL- 2100	00 FIRE	SUPPRESSION SYS	TEMS				\$	233,335	\$ 2.47	
									T			
DIVISION	230000	PLUMRI	NG SYST	EMS								
LOBBY VE					_	LS	s		e			
PLUMBING			ION		1,449.00	SF	s	4.00	s	5,796		
			CCTIDIU	F ADDITIONS	1,449.00	LS		4.00	\$	3,790		
			ESTIBULI	E ADDITION******	170.00	SF	\$ S		\$	1.050		
PLUMBING					176.00			6.00	_	1,056		
VEHICLE S			OITION""			LS	\$		\$			
PLUMBING					1,000.00	SF	S	12.00	\$	12,000		
OUTDOOL						LS	\$	-	\$	-		
PLUMBING					2.00	EA		4,500.00	\$	9,000		
BUILDING	REMOI	DEL*****	***			LS	\$		\$	-		
PLUMBING					94,600.00	SF	S	18.00	\$	1,702,800		
PLUMBING	G EQUIPN	MENT			94,600.00	SF	S			INCLUDED		
DOMESTIC	C WATER	t			94,600.00	SF				INCLUDED		
STORM / F	ROOF DI	RAINAGE			94,600.00	SF	S			INCLUDED		N/A- SLOPED TO GUTTERS
SANITARY	SEWER-	UG			94,600.00	SF				INCLUDED		
WASTE & V	VENT- A	BOVE GR	ADE		94,600.00	SF				INCLUDED		
NAT GAS I					94,600.00	SF				INCLUDED		
FIXTURES						SF				INCLUDED		
PLUMBING		TION			94,600.00	SF				INCLUDED		
LOMBING	J INSOLA	TION			34,000.00	31				INCLUDED		
	TIPTOT	AL- PLUN	IDINIC CV	CTEMC					\$	1 720 652	\$ 18.29	
3	овтот	AL- FLUN	IDING 31	31EM3					3	1,730,652	\$ 18.29	
D.W.W. C. C. C.		o orrown							_			
DIVISION				**		* C						
LOBBY VE		E ADDIT	ION	 I		LS	\$		\$	24 886		
HVAC SYS					1,449.00	SF	S	24.00	\$	34,776		
		LOBBY V	ESTIBULI	E ADDITION******	-	LS	\$	-	\$			
HVAC SYS					176.00	SF	S	16.00	\$	2,816		
VEHICLE S	SALLYP	ORT ADI	OITION**	*****	-	LS	\$	-	\$	-		
HVAC SYS					1,000.00	SF	S	12.00	\$	12,000		
BUILDING	REMOI	DEL*****	****		-	LS	\$		\$	-		
HVAC SYS	TEM-				94,600.00	SF	S	48.00	\$	4,540,800		
EQUIPMEN						SF	L		\$			
DUCTWOR		CESSORIE	S		94,600.00	SF			\$	-		
HVAC HYD						SF	s		s			
HVAC INS						SF	Ť		S			
HVAC CON					94,600.00	SF			S			
TEST & BA						SF	†		S			
		I L EIEL D			34,000.00	LS	s		\$			N/A EVCLUDED
GEOTHER	mAL WE	LL FIELD				LS	3		- 13			N/A-EXCLUDED
H-	mac =		o oriom=:			-	-		-	4 = 00 00 -		
S	SUBTOT	AL- HVA	SYSTEM	MS		-			\$	4,590,392	\$ 48.52	
				l		l	1					

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 94,600.00

DESCRIPTION	QTY	U/M	UNIT PRICE		TOTALS	COST/SF	NOTES/COMMENTS
KMART BUILDING-REMODEL & ADDITIONS-R1							
DIVISION 260000 ELECTRICAL SYSTEMS							
LOBBY VESTIBULE ADDITION******		LS	s -		s -		
ELECTRICAL WORK	1,449.00	SF	\$ 28.00		\$ 40,572		
CSU EXTENSION LOBBY VESTIBULE ADDITION*****		LS	s -		s -		
ELECTRICAL WORK	176.00		\$ 24.00		\$ 4,224		
	170.00						
VEHICLE SALLYPORT ADDITION******		LS	\$ -		,		
ELECTRICAL WORK	1,000.00	SF	\$ 24.00		\$ 24,000		
BUILDING REMODEL*******	-	LS	\$ -		\$ -		
ELECTRICAL WORK	94,600.00		\$ 32.50		\$ 3,074,500		
EQUIPMENT- SECONDARY	94,600.00	SF	s -		INCLUDED		
EMERGENCY GENERATOR	1.00	LS	\$ 75,000.00		\$ 75,000		
SITE ELECTRICAL-LIGHTING/POWER	1.00	LS	\$350,000.00		\$ 350,000		
POWER DISTRIBUTION	94,600.00	SF	s -		INCLUDED		
LIGHTING & CONTROLS	94,600.00		s -		INCLUDED		
FIRE ALARM SYSTEM	94,600.00	SF	s -		INCLUDED		
SECURITY ELECTRONICS	1.00	LS	\$150,000.00		\$ 150,000		
DATA/COMMUNICATIONS-ROUGH IN	94,600.00		s -		INCLUDED		
ACCESS CONTROL-ROUGH IN	94,600.00		s -		INCLUDED		
SECURITY SYS-ROUGH IN	94,600.00	SF	s -		INCLUDED		
AV SYSTEM-ROUGH IN	94,600.00	SF	s -		s -		N/A-EXCLUDED
SUBTOTAL- ELECTRICAL SYSTEMS	1	<u></u>			\$ 3,718,296	\$ 39.31	
		1			1		
DIVISION 270000 SPECIAL/LV SYSTEMS							
LOBBY VESTIBULE ADDITION*******	_	LS	\$ -		s -		
	1,449.00		\$ 2.25		\$ 3,260		
DATA / COMMUNICATIONS-WIRING/DEVICES/EQUIP							
ACCESS CONTROL SYS-WIRING/DEVICES/EQUIP	1,449.00	SF	\$ 12.00		\$ 17,388		
SECURITY SYS-WIRING/DEVICES/EQUIPMENT	1,449.00		\$ 3.80		\$ 5,506		
BUILDING REMODEL*******	-	LS	\$ -		\$ -		
DATA / COMMUNICATIONS-WIRING/DEVICES/EQUIP	94,600.00	SF	\$ 3.45		\$ 326,370		
AV SYSTEM-WIRING/DEVICES/EQUIPMENT-COURT							
ROOMS	-	EA	\$ 75,000.00		\$ -		N/A-OWNER FF & E
AV SYSTEM-WIRING/DEVICES/EQUIPMENT-BOCC CHAMBERS		r.	\$ 75,000.00				N/A-OWNER FF & E
AV SYSTEM-WIRING/DEVICES/EQUIPMENT-CONF /	-	EA	\$ 75,000.00		3 -		N/A-OWNER FF & E
TRAINING RMS		FΔ	\$ 25,000.00		s .		N/A-OWNER FF & E
ACCESS CONTROL SYS-WIRING/DEVICES/EQUIP	94,600.00	CE	\$ 1.10		\$ 104,060		TOTAL TI GE
SECURITY SYS-WIRING/DEVICES/EQUIPMENT	94,600.00	SF	\$ 2.30		\$ 217,580		
SUBTOTAL- SPECIAL/LV SYSTEMS					\$ 674,164	\$ 7.13	
DIVISION 310000 SITE DEVELOPMENT							
	.1						V/4 opp opp
SITE PREPARATION / EROSION & SEDIMENT CONTRO		AC	S -		3 -		N/A-SEE SITE DEV ESTIMATI
SITE CLEARING/SITE DEMO	-	LS	S -		s -		N/A-SEE SITE DEV ESTIMATI
EARTHWORK / SITE GRADING / CUT & FILL	-	LS	s -		s -		N/A-SEE SITE DEV ESTIMATI
IMPORTED BASE COURSE- PAVEMENT BASES	-	LS	s -		\$ -		N/A-SEE SITE DEV ESTIMATI
DOMESTIC/FIRE WATER SERVICE	-	LS	s -		s -		N/A-SEE SITE DEV ESTIMAT
STORM SEWER -MANHOLE/DRAINS/PIPING	-	LS	s -		s -		N/A-SEE SITE DEV ESTIMAT
SANITARY SEWER SERVICE-MANHOLES/PIPING	-	LS	s -		s -		N/A-SEE SITE DEV ESTIMAT
NATURAL GAS SERVICE	-	LS	s -		s -		N/A-SEE SITE DEV ESTIMAT
SITE CONCRETE-FLATWORK	-	LS	s -		s -		N/A-SEE SITE DEV ESTIMAT
SITE FURNISHINGS- TRASH RECEP/BENCHES	-	LS	s -		s -		N/A-SEE SITE DEV ESTIMAT
LANDSCAPING		LS	s -		s -		N/A-SEE SITE DEV ESTIMATI
SUBTOTAL- SITE DEVELOPMENT					s -	s -	
					1		
- 	1				+		
CURTOTAL DIRECT COOT	1	-	+		622 220 653	6 22462	
SUBTOTAL-DIRECT COST-	1	1	 		\$22,228,851	\$ 234.98	
	1						
			1	1 -	1		

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL T.
BGSF 94,600.00

- 1	DESCRIP	TION			QTY	U/M	UNIT PRICE			TOTALS	COST/SF	NOTES/COMMENTS
				ADDITIONS-R1	Q	0/1.1	OHITTRICE			101.112	C051/51	NOTES/ COMMENTS
POTENTI					LEAVE EXISTIN	IG ROOF	ING ASSEMBLY	- PATCH	& REPAIR	EXISTING (ASSU	MES CODE CO.	MPLIANT INSULATION & WIND
ROOFING												
BUILDING					-	LS	\$ -			\$ -		
ROOFING					(94,600.00)	SF	\$ 1.55			\$ (146,630)		
MEMBRAN FLASHING	NE ROOF GS/TRIM	ING- 60 I	MIL TPO-	W/INSUL	(94,600.00)	SF	\$ 17.00			\$ (1,608,200)		ROOF REPLACEMENT
PATCH &	REPAIR	EXISTING	TPO ME	MBRANE	1.00	LS	\$200,000.00			\$ 200,000		
	SUBTOT	AL- ROO	FING & S	HEET METAL						\$ (1,554,830)	\$ (16.44)	
									-			
						-						
I												
						-			-			
						-		-				
						-						
						 						
									l			
						-			-			
						-		-				
-+						-		-				
		1	1		1	1	1	1				l

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL
BGSF 108,363.00

	DESCRIP	TION			QTY	U/M	UNIT PRICE		TOTALS	COST/SF	NOTES/COMMENTS
KMART	BUILDIN	IG-SITE.	DEVELO	PMENT							
DIVISIO	N 310000	SITE DE	EVELOPM	IENT							
over ppr	D. D. I. T. I.	/ FD 0.0		DILETTE COLUMN OF							
				DIMENT CONTROL	7.20	AC	\$285,000.00		\$ 2,052,000		
	ARING/SI				1.00	LS	\$ -		INCLUDED		
EARTHW	ORK / SI	LE GRADI	NG / CU	I & FILL	1.00	LS LS	s -		INCLUDED		
	ED BASE O			I BASES	1.00		s -		INCLUDED INCLUDED		NEW DOMESTIC WATER SERV
	EWER -M.			DIDING	1.00		s -		INCLUDED		NEW STORM PIPING/STRUCT
				ES/PIPING		LS	s -		INCLUDED		NEW SANITARY SERVICE
	L GAS SEI		MANIO	LS/THING	1.00	LS	s -		\$ -		N/A-EXISTING TO REMAIN
	F PAVMEN				1.00	LS	\$ -		INCLUDED		NEW REPLACMENT PAVING
	NCRETE-F		K			LS	s -		INCLUDED		WALKS/CONC PAVEMENT
	NCRETE-M				1.00	LS	\$ -		INCLUDED		
	NISHING		RECEP/E	BENCHES		LS	s -		INCLUDED		
LANDSC						LS	s -		INCLUDED		WITHIN SITE LIMITS
	SUBTOT	AL- SITE	DEVELO	PMENT					\$ 2,052,000	\$ 18.94	
	DODIOI	···	DEVELO						\$ 2,052,000	¥ 10.51	
		STIRTO	AI -DIP	ECT COST-			 		\$ 2,052,000	\$ 18.94	
\vdash		300101	AL-DIK	C1 C031-					J 2,032,000	y 10.34	
\vdash											
_											
—											
—											
_											
1				-							
—											
-											
-											
-											
L											
—											
\vdash											
							l				

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 1,000.00

DESCRIPTION		QTY	U/M	UNIT PRICE		Т	OTALS	CO	ST/SF	NOTES/COMMENTS
VEHICLE SALLYPORT ADI	ITION									
020000 - SITEWORK-EXISTI	NG CONDTIONS									
BUILDING REMODEL******		-	LS	s -		s				
EXTERIOR DEMOLITION****			LS	s -		s				
CUT NEW OPENINGS IN EX CI		1.00	EA	\$ 420.00		s	420			
COT NEW OFENINGS IN EX C	IO WALLS-DOOKS	1.00	LA	3 420.00		,	720			
CURTOTAL ARADA	CETTWONE PRICTING C	ONDTIONS				s	420		0.43	
30B101AL-02000	SITEWORK-EXISTING C	UNDITIONS				- 3	420	3	0.42	
020000 - SITEWORK-BUILDI				_		_				
VEHICLE SALLYPORT ADDI		-	LS	\$ -		\$				
FOUNDATION EXCAV-COLUM		60.00		\$ 8.50		\$	510			EXCAV TO FROST DEPTH-36"
OVER-EX & REPLACE- COLUM		60.00	CY	\$ 71.40		\$	4,284			OVER-EX/REPLACE/DISPOSE 36
FOUNDATION EXCAV/BF-DIS	OSE UNSUITABLE	60.00	CY	\$ 13.00		\$	780			DISPOSE OFFSITE
IMPORTED FILL TO SLAB ON	GRADE	133.33	CY	\$ 62.00		\$	8,267			ASSUME 36" STRUC'L FILL
DRAINAGE BASE TO SLABS O	N GRADE	1,000.00	SF	\$ 1.38		\$	1,378			6" CLASS 6 BASE
VAPOR BARRIER TO SLABS O	N GRADE	1,100.00	SF	\$ 0.68		s	748			15 MIL STEGO
SUBTOTAL- 02000	SITEWORK-BUILDING					s	15,966	s	15.97	
502101112 02000						7	10,000	-	13.31	
022400 - DEEP FOUNDATIO	NIC	1								
		1	DV	£ 4 500 CC		-				
HELICAL PILES- MOBILIZE/DE		-	DY	\$ 4,500.00		\$	-	-		NA PROTEINE
HELICAL PILES- 50 FT BID LE	1G1H	-	LF	\$ 1,650.00		\$		-		N/A-EXCLUDED
PILE TESTING	-	-	LS	\$ 5,000.00		\$		ļ		
LAYOUT		-	HRS	\$ 72.00		\$		1		
SUBTOTAL- 02240	DEEP FOUNDATIONS					\$		\$	-	
								1 _		
030000 - CONCRETE										
VEHICLE SALLYPORT ADDI	ION*****	-	LS	s -		s				
CONCRETE FOUNDATIONS-P		7.00	CY	\$ 490.00		s	3,430			24" X 12"
						\$				
CONCRETE FOUNDATIONS-PI		9.31	CY				6,936			16" X 24" H
CONCRETE FOUNDATIONS-C	DL FOOTINGS	3.89	CY	\$ 490.00		\$	1,906			5' X 5' X 1' -COL FTGS
MISC PITS/FOUNDATIONS		1.00	LS	\$ 1,500.00		\$	1,500			
SLAB ON GRADE-6" TH		912.00	SF	\$ 7.55		\$	6,886			
SUBTOTAL- 03000	CONCRETE					\$	20,657	\$	20.66	
040000 - MASONRY & STON	E WORK									
VEHICLE SALLYPORT ADDI		-	LS	s -		\$				
EXTERIOR CMU WALLS-8" TH		1,800.00	SF	\$ 22.60		S	40,680			8" BACKUP TO VENEER
EXTERIOR WALLS-VENEER -4'	ARCH'I CMII	1,800.00		\$ 18.45		s	33,210			O BICKOT TO TEXTER
		2,000.00					00,210			
CURTOTAL GARGO	MACONINY						72.000		72.00	
SUBTOTAL- 04000	MASUNKI	1	 	1		\$	73,890	\$	73.89	
		1	-					-		
050000 - METALS		 	-	1						
VEHICLE SALLYPORT ADDI		-	LS	\$ -		\$	-	1		
STEEL JOIST FRAMING- ROOF		1.75	TNS	\$ 2,750.00		\$	4,813			
STRUCTURAL STEEL FRAMIN	3- HUNG LINTELS/POUR				1			1		
STOPS/DECK EDDGE ANGLES		1.00		\$ 3,450.00		\$	3,450	1		ALLOW
METAL ROOF DECKING - 1.5'	/20 GAGE	1,100.00	SF	\$ 2.95		\$	3,245			
MISC METALS		1,000.00	SF	\$ 3.75		\$	3,750			
									_	·
SUBTOTAL- 05000	METALS					s	15,258	\$	15.26	
12222222							,0	1		
060000 - WOOD & PLASTIC								t		
		1	. c					-		
VEHICLE SALLYPORT ADDI			LS	\$ -		\$		-		
PERIMETER ROOF BLOCKING				\$ 4.85		\$	1,261	-		
PERIMETER COPING NAILERS		90.00		\$ 8.00		\$	720	1		
MILLWORK /CACEWORK /ADC	HITECTURAL WOODWORK	1,000.00	SF	\$ 3.00		\$	3,000	1		
MILLWORK/CASEWORK/ARC										
MILLWORK/CASEWORK/ARC	WOOD & PLASTICS					\$	4,981	\$	4.98	
SUBTOTAL- 060000	HOOD WILLIDING			1	1 1			1 -	_	
	WOOD GILLDINGS									
	, wood directions									
	, wood a raid reco									

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 1,000.00

									or 1,000
DESCRIPTION			QTY	U/M	UNIT PRICE	Т	OTALS	COST/SI	NOTES/COMMENTS
VEHICLE SALLYPORT AI	DDITION								
070000 - THERMAL & MC	ISTURE P	ROTECTION							
VEHICLE SALLYPORT ADI	DITION***	****	-	LS	\$ -	\$			
FOUNDATION INSULATION			180.00	SF	\$ 2.80	s	504		
PERIMETER FDN DAMPPRO			180.00		\$ 2.10	s	378		
BUILDING INSULATION-TO		ΔΙΙς	1,800.00		\$ 4.10	s	7,380		3" RIGID CAVITY INSUL
MEMBRANE ROOFING- 60 I			1,000.00		\$ 18.00	s	18,000		ROOFING/FLASHING/TRIM
APPLIED FIREPROOFING	110		1,000.00	SF	s -	\$	10,000		N/A-EXCLUDED
CAULKING & SEALANTS			1,000.00		\$ 0.45	\$	450		TYTE ENCEOPED
CAULKING & SLALANTS			1,000.00	31	3 0.43	3	730		
CURTOTAL 070	OO THED	MAL O MOICTIDE	PROTECTION			\$	26.712	e 20.7	
SUBTUTAL: 0700	JUU THEK	MAL & MOISTURE	PROTECTION			3	26,712	\$ 26.7	ı
080000 - DOORS & WIND									
VEHICLE SALLYPORT ADI		****		LS	\$ -	\$			
DOORS/FRAMES/HW-INTE			2.00	EA	\$ 5,500.00	\$	11,000		SECURITY RATED OPENING
DOORS/FRAMES/HW-EXTE			1.00		\$ 5,750.00	\$	5,750		SECURITY RATED OPENING
OVERHEAD DOORS- COILI	NG/INSUL/	/MOTOR OP	2.00	EA	\$ 12,000.00	\$	24,000		HIGH SPEED COILING DOOR
SUBTOTAL- 0800	000 DOOR	RS & WINDOWS				\$	40,750	\$ 40.7	5
	ЩТ								
090000 - FINISHES			-						
VEHICLE SALLYPORT ADI	DITION***		-	LS	s -	s			
INTER PTNS/ FLOOR/WALI			1,000.00		\$ 22.00	\$	22,000		
	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		1,000.00		2 22.00	-	22,000		
SUBTOTAL- 0900	OOO EINIICI	ure				s	22,000	\$ 22.0	2
SUBTUTAL- 0900	JUU FINISI	HES				3	22,000	\$ 22.0	0
DIVISION 100000 - SPECI						-			
VEHICLE SALLYPORT ADI		****		LS	\$ -	\$			
MISCELLANEOUS SPECIALT	TES		1,000.00	SF	\$ 2.40	\$	2,400		
SUBTOTAL- 1000	000 SPECI	ALTIES				\$	2,400	\$ 2.4	0
DIVISION 110000 - EQUIP	MENT								
VEHICLE SALLYPORT ADI	DITION***	****	-	LS	\$ -	\$			
MISCELLANEOUS EQUIPME	NT		1,000.00	SF	\$ 0.25	\$	250		
SUBTOTAL- 1100	000 EQUIP	PMENT				\$	250	\$ 0.2	5
DIVISION 120000 - FURN	ISHINGS								
VEHICLE SALLYPORT ADI		****	_	LS	e .	e			
DEETENTION FURNISHING				LS	\$.	ę			SEE HM DOORS/FRS/HW
DELIENTION FURNISHING	J & EQUIP	MLN I		LO	, .		-		JLL 1191 DOURS/FRS/HW
CURTOTAL 122	100 FHE:-	ICHINICC							
SUBTOTAL- 1200	JUU FURNI	ISHINGS				\$	-	\$ -	
						_			
DIVISION 130000 - SPECI					l .	_		ļ	
VEHICLE SALLYPORT ADI			-	LS	\$ -	\$	•		
	UILDING I	PACKAGE		SF	s -	\$			N/A-EXCLUDED
PRE-ENGINEERED METAL B			-	SF	s -	\$			N/A-EXCLUDED
PRE-ENGINEERED METAL B				LS	s -	\$			N/A-EXCLUDED
PRE-ENGINEERED METAL B X-RAY PROTECTION	STEM			1					
PRE-ENGINEERED METAL B X-RAY PROTECTION	/STEM					 			
PRE-ENGINEERED METAL B X-RAY PROTECTION PHOTOVOLTAIC POWER SY		AL CONSTRUCTION)N			\$		\$ -	
PRE-ENGINEERED METAL B X-RAY PROTECTION PHOTOVOLTAIC POWER SY		AL CONSTRUCTION)N			\$	•	\$ -	
PRE-ENGINEERED METAL B X-RAY PROTECTION PHOTOVOLTAIC POWER SY SUBTOTAL- 1300	000 SPECI)N			\$	•	\$ -	
PRE-ENGINEERED METAL B X-RAY PROTECTION PHOTOVOLTAIC POWER SY SUBTOTAL- 1300 DIVISION 140000 - CONV	000 SPECI EYING SY		ON .	FΔ	\$ -	\$		\$ -	N/A-FYCHIDFD
PRE-ENGINEERED METAL B X-RAY PROTECTION PHOTOVOLTAIC POWER SY SUBTOTAL- 1300 DIVISION 140000 - CONV HYDRAULIC ELEVATOR-2 S	000 SPECI EYING SY		ON -	EA EA	s -	\$	-	s -	N/A-EXCLUDED
PRE-ENGINEERED METAL B X-RAY PROTECTION PHOTOVOLTAIC POWER SY SUBTOTAL- 1300 DIVISION 140000 - CONV HYDRAULIC ELEVATOR-2 S	000 SPECI EYING SY		- -	EA EA	\$ - \$ -	\$ \$ \$		\$ -	N/A-EXCLUDED N/A-EXCLUDED
PRE-ENGINEERED METAL B X-RAY PROTECTION PHOTOVOLTAIC POWER SY	DOO SPECI EYING SY	STEMS	- -		-	\$ \$	-	\$ -	

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL T.
BGSF 1,000.00

	DESCRI	DTION		1	QTY	U/M	UNIT I	DICE			TOTAL	c	CC	ST/SF	NOTES/COMMENTS
			DDITION	7	QII	U/M	UNIT	RICE	-	-	IOIAL	۵	CC	/31/3F	NOTES/COMMENTS
				SION SYSTEMS											
			DITION			LS	s				\$				
		- WET PIP			1,000.00	SF	s	6.50				.500			
		- DRY TY			1,000.00	SF	S	0.30			s 0	,300			N/A-EXCLUDED
FIRE 3FR	IINKLERS	- DKI III	T.E.			эг	,				,	•			IN/A-EXCLUDED
	SUPTO	CAT - 210	OUU EIDE	SUPPRESSION SYS	TEMS						\$ 6,	,500	\$	6.50	
	305101	AL- 210	JOU FIRE	SUFFRESSION 313	1 EM3						3 6,	,300	,	6.30	
DIVISIO	N 33000	O DI HMP	ING SYST	TEMS											
			DITION**			LS	s				s				
PLUMBIN			DITION		1,000.00	SF	-	12.00				,000			
LOMBIN	0 31311	1413			1,000.00	31	3	12.00			9 12	,000			
	SURTO	ΓΔΙ - ΡΙΙΙΙ	MBING SY	/STFMS							\$ 12.	,000	\$	12.00	
	JODIO.	1		012.40							·	,000	-	12.00	
DIVISIO	N 24 HV	AC SYST	FMS												
			DITION®®	10000		LS	s				\$				
HVAC SY		l l			1,000,00	SF		12.00				.000			
					1,000.00	-	Ť				- 12	,500			
	SUBTO	TAL- HVA	C SYSTE	MS			l				\$ 12.	,000	\$	12.00	
	20210		- 51511				l				- 14,	,500	-	12.00	
DIVISIO	N 26000	O FI FCT	RICAL SY	STEMS			l								
			DITION**		-	LS	s				s	_			
ELECTRI			211014		1,000.00		-	24.00			•	,000			
LLLC I KI	1101	Ï			1,000.00	J.	1	_ F.OO			y 24	,500			
	SURTO	ΓΔΙ - FI F	TRICAT	SYSTEMS			1				\$ 24.	,000	s	24.00	
	JUBIU	AL LLL	INICAL	JIJILMJ							3 27	,000	J	24.00	
DIVISIO	N 27000	O SPECIA	L/LV SYS	STEMS			1								
			DITION**		-	LS	\$				\$				
				/DEVICES/EQUIP	1,000,00	SF	S	2.25			-	.250			
				/ICES/EQUIP	1,000.00	SF	\$	12.00				,000			
				UIPMENT	1,000.00	SF	S	3.80				,800			
SECURIT	1 313-W	KING/DE	VICES/EQ	OIFMENT	1,000.00	эг	3	3.00			3 3	,000			
	SUPTO	TAL SDE	CIAL/LV S	CVCTEMC							\$ 18.	,050	\$	18.05	
	JUBIU	AL SIL	IAL/LV .	JIJILMJ							3 10,	,030	J	10.03	
DIVISIO	N 31000	O SITE D	EVELOPM	ENT											
SITE PRE	PARATIO	ON / EROS	SION & SE	DIMENT CONTROL	-	AC	\$	-			\$				N/A-SEE SITE DEV ESTIMATE
		SITE DEM			-	LS	\$	-			\$	-			N/A-SEE SITE DEV ESTIMATE
			ING / CU		-	LS	\$				\$				N/A-SEE SITE DEV ESTIMATE
			PAVEMEN	IT BASES	-	LS	\$	-			\$				N/A-SEE SITE DEV ESTIMATE
		WATER SI		mmuso	-	LS	\$	-			\$				N/A-SEE SITE DEV ESTIMATE
			/DRAINS/			LS LS	s	-			S S	-			N/A-SEE SITE DEV ESTIMATE
NATURA			MANHO	LES/PIPING	-	LS	\$	-			\$ \$	-			N/A-SEE SITE DEV ESTIMATE N/A-SEE SITE DEV ESTIMATE
		FLATWOR	K			LS	\$				\$				N/A-SEE SITE DEV ESTIMATE
SITE FUR	RNISHING	S- TRASE	I RECEP/I	BENCHES		LS	\$				\$	-			N/A-SEE SITE DEV ESTIMATE
LANDSC	APING		,.		-	LS	\$	-			\$	-			N/A-SEE SITE DEV ESTIMATE
	SUBTO	TAL- SITE	DEVELO	PMENT							\$		\$		
		SUBTO	TAL-DIR	ECT COST-							\$ 295,	834	\$:	295.83	
				ONDS/INSURANCE,	/FEES						\$ 44,	,020	\$	44.02	
		TOTAL	ESTIMA	TED CONSTRUCT	TION COST						\$ 339,	854	\$:	339.85	
							İ								

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL:
BGSF 176.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
CSU EXTENSION OFFICE LOBBY ADDITION	QII	U/M	UNII FRICE	TOTALS	CO31/3F	NOTES/COMMENTS
020000 - SITEWORK-EXISTING CONDTIONS						
EXTERIOR DEMOLITION********		LS	s -	\$ -		
CUT NEW OPENINGS IN EX CMU WALLS-DOORS	1.00	EA	\$ 420.00	\$ 420		
CUI NEW OPENINGS IN EX CMU WALLS-DOORS	1.00	EA	\$ 420.00	3 420		
CURRENT ASSAULT AND A STREET AND A STREET AND A STREET ASSAULT						
SUBTOTAL- 020000 SITEWORK-EXISTING O	ONDITIONS			\$ 420	\$ 2.39	
020000 - SITEWORK-BUILDING						
CSU EXTENSION LOBBY VESTIBULE ADDITION******		LS	\$ -	\$ -		
FOUNDATION EXCAV-COLUMN & WALL FOOTINGS		CY	\$ 8.50	\$ 889		EXCAV TO FROST DEPTH-36"
IMPORTED FILL TO SLAB ON GRADE / FOOTINGS		CY	\$ 62.00	\$ 6,481		ASSUME 36" STRUC'L FILL
DRAINAGE BASE TO SLABS ON GRADE	176.00	SF	\$ 1.38	\$ 242		6" CLASS 6 BASE
VAPOR BARRIER TO SLABS ON GRADE	193.60	SF	\$ 0.68	\$ 132		15 MIL STEGO
SUBTOTAL- 020000 SITEWORK-BUILDING				\$ 7,744	\$ 44.00	
022400 - DEEP FOUNDATIONS						
HELICAL PILES- MOBILIZE/DEMOB		DY	\$ 4,500.00	s -		
HELICAL PILES- 50 FT BID LENGTH		LF	\$ 1,650.00	s -		N/A-EXCLUDED
PILE TESTING	1	LS	\$ 5,000.00	s -		
LAYOUT		HRS	\$ 72.00	s -		
LAIUUI	 	пкъ	a /2.00	3 .		
	+		1			
SUBTOTAL- 022400 DEEP FOUNDATIONS		-	1	\$ -	\$ -	
030000 - CONCRETE						
CSU EXTENSION LOBBY VESTIBULE ADDITION******		LS	\$ -	\$ -		
CONCRETE FOUNDATIONS-PERIM WALL FOOTINGS	2.96	CY	\$ 490.00	\$ 1,448		24" X 12"
CONCRETE FOUNDATIONS-PERIM STEM WALLS	3.93	CY	\$ 745.00	\$ 2,929		16" X 24" H
CONCRETE FOUNDATIONS-COL FOOTINGS	3.89	CY	\$ 490.00	\$ 1,906		5' X 5' X 1' -COL FTGS
SLAB ON GRADE-5" TH	147.00	SF	\$ 6.60	\$ 970		
			7 2100			
SUBTOTAL- 030000 CONCRETE				\$ 7,252	\$ 41.21	
SOBTOTAL OSCOCO CONCRETE				3 7,232	3 41.21	
A AGGOD A A A GODON A GODON A GODON	+					
040000 - MASONRY & STONE WORK						
CSU EXTENSION LOBBY VESTIBULE ADDITION*****		LS	\$ -	\$ -		
EXTERIOR WALLS-VENEER -2" MANUF THINSTONE	240.00	SF	\$ 38.00	\$ 9,120		
SUBTOTAL- 040000 MASONRY				\$ 9,120	\$ 51.82	
050000 - METALS						
CSU EXTENSION LOBBY VESTIBULE ADDITION******		LS	\$ -	s -		
STRUCTURAL STEEL COLUMNS-1.5#/SF		TNS	\$ 3,350.00	\$ 442		
STEEL WF FRAMING- ROOF-10#/SF		TNS	\$ 3,210.00	\$ 2,825		
STRUCTURAL STEEL FRAMING- HUNG LINTELS/POUR	0.30		,210.00	7 2,023		
STOPS/DECK EDDGE ANGLES	0.25	TNS	\$ 3,450.00	\$ 863		ALLOW
STRUCTURAL STEEL FRAMING- BRACE FRAMING		TNS	\$ 3,385.00	\$ 1,693		1000#/LOCATION
METAL ROOF DECKING - 1.5"/20 GAGE	338.80	SF	\$ 2.95	\$ 999		,,
MISC METALS		SF	\$ 3.75	\$ 660		
and the same of th	170.00	-1	9.73	3 000		
SUBTOTAL- 050000 METALS	1	 	1	\$ 7,481	\$ 42.51	
SUBTUTAL: USUUUU METALS	1	-	1	\$ 7,481	ş 42.51	
	+	-	+			
060000 - WOOD & PLASTICS		-	1			
CSU EXTENSION LOBBY VESTIBULE ADDITION******		LS	\$ -	\$ -		
PERIMETER ROOF BLOCKING-TREATED 2X			\$ 4.85	\$ 757		
MILLWORK/CASEWORK/ARCHITECTURAL WOODWOR	¥ 176.00	SF	\$ 6.00	\$ 1,056		
				\$ 1,813	\$ 10.30	
SUBTOTAL- 060000 WOOD & PLASTICS			1			
SUBTOTAL- 060000 WOOD & PLASTICS						
SUBTOTAL- 060000 WOOD & PLASTICS						
SUBTOTAL 060000 WOOD & PLASTICS						
SUBTOTAL- 060000 WOOD & PLASTICS						
SUBTOTAL-060000 WOOD & PLASTICS						
SUBTOTAL- 060000 WOOD & PLASTICS						
SUBTOTAL-060000 WOOD & PLASTICS						

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 176.00

	DESCRI	PTION			QTY	U/M	UNIT PRICE		TOTALS	COST/SF	NOTES/COMMENTS
			LOBBY	ADDITION							
				PROTECTION							
				E ADDITION******	_	15	٠ .	e			
		SULATION			76.00	SF	\$ 2.80	s	213		
		DAMPPRO		GID		SF	\$ 2.10	\$	160		
				- XARMOR-2" TH	760.00	or cr	\$ 5.25	s	3,990		
						or cr					OF CREAT FOAM CTUD CAUTTIES
		ATION-TO		ALLS	760.00			S S	2,166		2" SPRAY FOAM-STUD CAVITIES
		WALL V			520.00	SF	\$ 17.00		8,840		
		FING- 60 I	MIL TPO		308.00	SF	\$ 24.00	\$	7,392		ROOFING/FLASHING/TRIM
	FIREPRO				-	SF	s -	\$			N/A-EXCLUDED
CAULKI	NG & SEA	LANTS			176.00	SF	\$ 0.45	\$	79		
	SUBTOT	AL- 0700	000 THER	MAL & MOISTURE	PROTECTION			\$	22,840	\$ 129.77	
080000	- DOORS	& WIND	ows								
CSU EXT	TENSION	LOBBY V	ESTIBULI	E ADDITION******	-	LS	\$ -	\$			
ENTRY S	TOREFRO	ONTS-ALU	M/GLASS		160.00	SF	\$ 60.00	\$	9,600		
DOORS/	FRAMES/	HW-STOR	EFRONTS	;	2.00	EA	\$ 3,400.00	\$	6,800		EXTERIOR ENTRIES
	OOR OPE				3.00	EA	\$ 1,550.00	\$	4,650		
	SUBTOT	CAL- 0800	000 DOO	RS & WINDOWS				s	21,050	\$ 119.60	
	202.01	5500	2000					,	21,030	2 115.50	
000000	EIMICH	EC									
	- FINISH		ECTIBIT	E ADDITION******		LS	s -	s			
					700.00				10.044		
				HEATHING/DW		SF	\$ 14.40	\$	10,944		
INTER P	TNS/ FLC	OR/WALI	L/BASE/C	EILING FINISHES	176.00	SF	\$ 28.00	\$	4,928		
-											
	SUBTOT	TAL- 0900	000 FINIS	HES				\$	15,872	\$ 90.18	
		0 - SPECI									
CSU EXT	TENSION	LOBBY V	ESTIBULI	E ADDITION******	-	LS	\$ -	\$			
MISCELI	ANEOUS	SPECIALT	TES		176.00	SF	\$ 2.40	\$	422		
	SUBTOT	TAL- 1000	000 SPEC	IALTIES				\$	422	\$ 2.40	
DIVISIO	N 11000	0 - EQUIF	MENT								
				E ADDITION******		LS	s -				
		EQUIPME		LADDITION		SF	\$ 0.25	s			N/A
MISCELL	AINEOUS	EQUIFME	N I			3r	3 0.23	,			N/A
	or inmon			D. (17) 177				s			
	SORIOI	TAL- 1100	DOO EQUI	PMENI				3		\$ -	
		<u> </u>									
		0 - FURN									
			ESTIBULI	E ADDITION******	-	LS	\$ -	\$			
FLOOR/	ENTRY M.	ATS	-		1.00	LS	\$ 1,500.00	\$	1,500		
<u> </u>	L	l	l			1					
	SUBTOT	TAL- 1200	000 FURN	ISHINGS				\$	1,500	\$ 8.52	
DIVISIO	N 13000	0 - SPECI	AL CONS	TRUCTION					-		
				E ADDITION******		LS	s -	\$	-		
				PACKAGE	-	SF	s -	\$			N/A-EXCLUDED
		POWER SY			-	LS	s -	\$			N/A-EXCLUDED
	SUBTOT	TAL- 1300	000 SPFC	IAL CONSTRUCTION	ON			s		s -	
	202101	1300	30 31 LC	coorkociic	Ĭ.		1	-		-	
DIVICIO	N 14000	0 COM	EVINC C	CTEMC							
		0 - CONV		SIEMS		n.					NA PROTERE
		ATOR-2 S	1 OP		-	EA	s -	\$	-		N/A-EXCLUDED
HC WHE	EL CHAIR	LIFT	-		-	EA	s -	\$	-		N/A-EXCLUDED
		<u> </u>	l								
	SUBTOT	TAL- 1400	00 CON	YEYING SYSTEMS				\$	-	\$ -	
L	<u></u>	<u></u>									
1											

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL: RI
BGSF 176.00

DESCRIP	TION			QTY	U/M	UNI	T PRICE			TOTALS	CC	OST/SF	NOTES/COMMENTS
CSU EXTENSION	OFFICE.	LOBBY	ADDITION										
DIVISION 210000	- FIRE SU	JPPRESS	ION SYSTEMS										
			ADDITION*****		LS	s			s	-			
TRE SPRINKLERS-				176.00	SF	s	4.20		s	739			
TRE SPRINKLERS				170.00	SF	s	4.20		s	- 733			N/A-EXCLUDED
IKE SPRINKLERS	DKI IIFE				эг	3			3				N/A*EACLUDED
SUBTOT	AL- 21000	O FIRE	SUPPRESSION SYS	TEMS		-			\$	739	\$	4.20	
DIVISION 230000													
CSU EXTENSION	LOBBY VE	STIBULE	ADDITION*****		LS	\$	-		\$				
PLUMBING SYSTEM	AS.			176.00	SF	s	6.00		\$	1,056			
SURTOT	AL- PLUM	RING SY	STEMS						s	1,056	5	6.00	
ЗОВТОТ	AL I LUM	bing 31	31 LM3						,	1,030	3	0.00	
	o orrown	**											
DIVISION 24 HV						-							
	LOBBY VE	STIBULE	ADDITION******	-	LS	\$	-		\$	-			
HVAC SYSTEM-				176.00	SF	S	16.00		\$	2,816			
					<u> </u>	Ш.							
SUBTOT	AL- HVAC	SYSTEM	4S						s	2,816	\$	16.00	
	T									,			
DIVICION ACCASA	FIFOTE	CAT CT	OTEN CO										
DIVISION 260000					l	 							
		STIBULE	ADDITION*****	-	LS	\$	-		\$		-		
ELECTRICAL WOR	K			176.00	SF	S	24.00		\$	4,224	-		
						<u> </u>					Ш		
SUBTOT	AL- ELECT	RICAL S	SYSTEMS						\$	4,224	\$	24.00	
DIVISION 270000	SDECIAL	/IV cvc	TEMS										
				_	* *								
			ADDITION*****		LS	\$			\$				
DATA / COMMUN				176.00		S	2.25		\$	396			
ACCESS CONTROL	. SYS-WIRI	NG/DEV	ICES/EQUIP	176.00	SF	S	12.00		\$	2,112			
SECURITY SYS-WII	RING/DEVI	CES/EQI	UIPMENT	176.00	SF	\$	3.80		\$	669			
SUBTOT	AL- SPECI	AL/LV S	YSTEMS						s	3,177	s	18.05	
DIVISION 310000	CITE DE	/ELODM	ENT										
DIVISION 3 10000	SITE DE	VELOFM	EN I										
SITE PREPARATIO	N / EROSI	ON & SEI	DIMENT CONTROL		AC	s	-		\$	-			N/A-SEE SITE DEV ESTIMATI
SITE CLEARING/SI					LS	s			s				N/A-SEE SITE DEV ESTIMATI
EARTHWORK / SI		IC / CIT	C & CILI	- :	LS	S			\$				N/A-SEE SITE DEV ESTIMATI
IMPORTED BASE O				- :	LS	S			\$				N/A-SEE SITE DEV ESTIMAT
			1 DASES		LS	S	-		\$				
DOMESTIC/FIRE V			DIDINIC			S	-		\$				N/A-SEE SITE DEV ESTIMAT
STORM SEWER -M.					LS		-			-			N/A-SEE SITE DEV ESTIMAT
SANITARY SEWER		MANHOL	ES/PIPING	-	LS	S	-		\$		-		N/A-SEE SITE DEV ESTIMAT
NATURAL GAS SEI				•	LS	S	-		\$		-		N/A-SEE SITE DEV ESTIMAT
SITE CONCRETE-F				-	LS	S	-		\$				N/A-SEE SITE DEV ESTIMAT
SITE FURNISHING	s- TRASH	RECEP/B	ENCHES	-	LS	S	-		\$				N/A-SEE SITE DEV ESTIMAT
LANDSCAPING				-	LS	S	-		\$		-		N/A-SEE SITE DEV ESTIMATI
SUBTOT	AL- SITE I	DEVELO	PMENT		<u> </u>	Ш.			\$	-	\$	-	
	SURTOT	AI -DIPE	CT COST-			1			\$	107,526	•	610.94	
- t				FFFE	 	 							
	CONTING	ENCY/BC	ONDS/INSURANCE/	FEES		-			\$	16,000	\$	90.91	
	TOTAL E	STIMA	TED CONSTRUCT	ION COST					\$	123,526	\$	701.85	
						†							
						-		_			-		

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL T.
BGSF 1,142.00

D	DESCRIPTION			QTY	U/M	U.	NIT PRICE		ı	OTALS	CC	OST/SF	NOTES/COMMENTS	
KMART B	BUILDIN	IG-INTE	RIOR CO	URTYARDS										
020000 - :	SITEWO	RK-EXIS	TING CO	NDTIONS										
BUILDING	REMOI	DEL*****	***		-	LS	\$			\$				
INTERIOR	R DEMO	LITION	*****		-	LS	\$			\$				
SAWCUT/I	REMOVE	EXISTIN	G SLABS		1,600.00	SF	\$	6.00		\$	9,600			NEW EXTER COURTYARDS
s	SUBTOT	AL- 0200	00 SITEV	WORK-EXISTING CO	ONDTIONS					\$	9,600	\$	8.41	
020000 - :	SITEWO	RK-BUIL	DING											
OUTDOOL	R COUR	TYARDS	******			LS	\$			\$				
FOUNDAT	TON EXC	AV-COLU	JMN & WA	ALL FOOTINGS	60.00	CY	\$	8.50		\$	510			EXCAV TO FROST DEPTH-36"
OVER-EX &	& REPLA	CE- COLU	MN & WA	ALL FOOTINGS	60.00	CY	\$	71.40		\$	4,284			OVER-EX/REPLACE/DISPOSE 36
FOUNDAT	TON EXC	AV/BF-D	ISPOSE U	NSUITABLE	60.00	CY	\$	13.00		\$	780			DISPOSE OFFSITE
s	SUBTOT.	AL- 0200	00 SITEV	WORK-BUILDING						\$	5,574	\$	4.88	
022400 - 1	DEEP FO	DUNDAT	IONS											
HELICAL P	PILES- M	OBILIZE/	DEMOB			DY	\$	4,500.00		\$				
HELICAL P	PILES- 50	FT BID I	LENGTH		-	LF	\$	1,650.00		\$				N/A-EXCLUDED
PILE TESTI	ING				-	LS	\$	5,000.00		\$				
LAYOUT						HRS	\$	72.00		\$				
								-						
s	SUBTOT	AL- 0224	00 DEEP	FOUNDATIONS						\$		\$	-	
030000 - (CONCR	ETE												
OUTDOOL	R COUR	TYARDS	*****			LS	\$			\$				
CONCRETI	E FOUNI	DATIONS	PERIM W	ALL FOOTINGS	15.87	CY	\$	490.00		\$	7,775			24" X 12"
CONCRETI	E FOUNI	DATIONS	PERIM ST	TEM WALLS	21.10	CY	\$	745.00		\$	15,721			16" X 24" H
CONCRETI	E FOUNI	DATIONS	COL FOC	TINGS	16.80	CY	\$	490.00		\$	8,232			6' X 6' X 1.5' -COL FTGS
CONCRETI	E FOUNI	DATIONS	COL PILI	ASTERS AT WALLS	8.00	EA	\$	390.00		\$	3,120			
MISC PITS,	/FOUND	ATIONS			1.00	LS	\$	1,500.00		\$	1,500			
SLAB ON C	GRADE-5	"TH			1,142.00	SF	\$	6.35		\$	7,252			
s	SUBTOT	AL- 0300	00 CON	CRETE						\$	43,600	\$	38.18	
040000 - 1	MASON	RY & ST	ONE WOR	RK										
OUTDOOF	R COUR	TYARDS	*****		-	LS	\$			\$	-			
EXTERIOR	WALLS-	VENEER -	4" ARCH	'L CMU	816.00	SF	\$	18.45		\$	15,055			48" HIGH WAINSCOT
s	SUBTOT.	AL- 0400	00 MASO	ONRY						\$	15,055	\$	13.18	
050000 - 1	METALS	3												
OUTDOOF						LS	\$			\$				
TEMP SHO				AMING	2.00	LS	\$	7,500.00		\$	15,000			
REMOVE E					1,254.00	SF	\$	11.00		\$	13,794			
				ANDREL BMS	4.08		\$	5,500.00		\$	22,440			ALLOW 40#/LF
				IG LINTELS/POUR			Ė	1			,			
STOPS/DE	CK EDD	GE ANGL	ES	.,	1.00	TNS	\$	3,450.00		\$	3,450			ALLOW
s	SUBTOT.	AL- 0500	00 META	ALS						\$	54,684	\$	47.88	
							_							
060000 - 1	WOOD	& PLAST	ICS											
OUTDOOL	R COUR	TYARDS	******			LS	\$			\$				
PERIMETE	R ROOF	BLOCKIN	G-TREAT	ED 2X	408.00	LF	\$	4.85		\$	1,979			
PERIMETE					204.00	LF	\$	8.00		\$	1,632			
				OF PARAPETS	408.00	SF	\$	2.15		\$	877			
s	SUBTOT	AL- 0600	00 WOO	D & PLASTICS						\$	4,488	\$	3.93	

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R
BGSF 1,142.00

DESCRIPTION		QTY	U/M	UNIT PRICE		TOTALS	COST/SF	NOTES/COMMENTS
KMART BUILDING-INTERIO	R COURTYARDS		-,				,	, , , , , , , , , , , , , , , , , , , ,
070000 - THERMAL & MOIST								
OUTDOOR COURTYARDS****			LS	s -		s -		
FOUNDATION INSULATION-2"		408.00	SF	\$ 2.80		\$ 1.142		
PERIMETER FDN DAMPPROOFI		408.00	SF	\$ 2.10		\$ 857		
CI WEATHER BARRIER/INSULA		4,080.00	SF	\$ 5.25		\$ 21,420		
BUILDING INSULATION-TO EX		4,080.00	SF	\$ 2.85		\$ 11,628		2" SPRAY FOAM-STUD CAVITIES
STUCCO PLASTER WALL VENE		3,264.00	SF	\$ 17.50		\$ 57,120		WALLS ABOVE CMU WAINSCOT
		,				,,		
SUBTOTAL: 070000	THERMAL & MOISTURI	PROTECTION				\$ 92,167	\$ 80.71	
080000 - DOORS & WINDOW:	s							
OUTDOOR COURTYARDS****			LS	s -		s -		
ALUM STOREFRONT WINDOWS		768.00	SF	\$ 58.00		\$ 44,544		NEW EXTER PUNCHED WINDOWS
ENTRY STOREFRONTS-ALUM/O		64.00	SF	\$ 60.00		\$ 3,840		
DOORS/FRAMES/HW-STOREFR		2.00	EA	\$ 3,400.00		\$ 6,800		ACCESS TO COURTYARDS
BOOKS, I K. HALS, IIII STOKELI		2.00		3,100.00		0,000		TREELES TO COOKT THESE
SUBTOTAL- 080000	DOORS & WINDOWS					\$ 55,184	\$ 48.32	
30B101AL 380000	DOCAS & HEIDOWS					9 33,104	y 70.32	
090000 - FINISHES								
OUTDOOR COURTYARDS****			LS	\$ -		\$ -		
EXTERIOR WALLS-6" LG FRAMI		4,488.00		\$ 14.40		\$ 64,627		
EATERIOR WALLS-D LG FRAMI	ing/orieathing/DW	4,488.00	3f	3 14.40		3 04,027		
CURTOTAL COCCO	FINICIPE		 			£ 64.63=	£ 50.50	
SUBTOTAL- 090000	LINISHES			1		\$ 64,627	\$ 56.59	
DIVISION 230000 PLUMBING								
OUTDOOR COURTYARDS****		-	LS	\$ -		\$ -		
PLUMBING SYSTEMS-AREA DRA	AINS	2.00	EA	\$ 4,500.00		\$ 9,000		
SUBTOTAL- PLUMBII	NG SYSTEMS					\$ 9,000	\$ 7.88	
DIVISION 310000 SITE DEVE	LOPMENT							
SITE PREPARATION / EROSION	& SEDIMENT CONTROL	-	AC	s -		s -		N/A-SEE SITE DEV ESTIMATE
SITE CLEARING/SITE DEMO		_	LS	s -		s -		N/A-SEE SITE DEV ESTIMATE
EARTHWORK / SITE GRADING	/ CUT & FILL	-	LS	s -		s -		N/A-SEE SITE DEV ESTIMATE
IMPORTED BASE COURSE- PAV		-	LS	s -		s -		N/A-SEE SITE DEV ESTIMATE
DOMESTIC/FIRE WATER SERVI		-	LS	s -		s -		N/A-SEE SITE DEV ESTIMATE
STORM SEWER -MANHOLE/DR	AINS/PIPING	-	LS	s -		s -		N/A-SEE SITE DEV ESTIMATE
SANITARY SEWER SERVICE-MA	NHOLES/PIPING	-	LS	s -		ş -		N/A-SEE SITE DEV ESTIMATE
NATURAL GAS SERVICE		-	LS	s -		s -		N/A-SEE SITE DEV ESTIMATE
SITE CONCRETE-FLATWORK		-	LS	s -		s -		N/A-SEE SITE DEV ESTIMATE
SITE FURNISHINGS- TRASH RE	CEP/BENCHES	-	LS	\$ -		\$ -		N/A-SEE SITE DEV ESTIMATE
LANDSCAPING		-	LS	\$ -	-	\$ -		N/A-SEE SITE DEV ESTIMATE
SUBTOTAL- SITE DE	VELOPMENT		<u> </u>			\$ -	\$ -	
			<u> </u>					
	-DIRECT COST-					\$ 353,979		
CONTINGEN	CY/BONDS/INSURANCE,	/FEES				\$ 52,672	\$ 46.12	
TOTAL EST	TIMATED CONSTRUCT	TION COST				\$ 406,652	\$ 356.09	
				<u> </u>		<u> </u>		
	T .			1	11	1		l .

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 2,100.00

DESCRIPTION	QTY	U/M	UNIT PRICE		TOTALS	COST/SF	NOTES/COMMENTS
KMART BUILDING-BUILD OUT OF 1 COURTROOM						, , ,	
050000 - METALS							
BUILDING REMODEL*******		1 5	s -	s			
MISC METALS	2,100.00	CE	\$ 2.20	S	4,620		
MISC METALS	2,100.00	31	3 2.20	,	4,020		
SUBTOTAL- 050000 METALS				s	4,620	\$ 2.20	
SUBTUTAL USUUUU METALS				,	4,620	\$ 2.20	
200000 WOOD 2 PLICENCE							
060000 - WOOD & PLASTICS							
BUILDING REMODEL*******	-	LS	\$ -	\$			
MISC BLOCKING/NAILERS-INTERIOR	2,100.00	SF	\$ 0.55	\$	1,155		
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK	1.00	EA	\$150,000.00	\$	150,000		COURTROOMS/JUDGES CHAMB
SUBTOTAL- 060000 WOOD & PLASTICS				\$	151,155	\$ 71.98	
070000 - THERMAL & MOISTURE PROTECTION							
BUILDING REMODEL*******	-	LS	s -	s	-		
CAULKING & SEALANTS	2,100.00	SF	\$ 0.45	s	945		
	_,						
SUBTOTAL- 070000 THERMAL & MOISTURE	PROTECTION			s	945	\$ 0.45	
SSSICIAL OF GOOD THERMAL & MOISTURE	LAGILCION			1	543	J 0.43	
assass poors a winipows							
080000 - DOORS & WINDOWS							
BUILDING REMODEL*******	-	LS	\$ -	\$			
DOORS/FRAMES/HW-INTERIOR	2.00	EA	\$ 2,050.00	\$	4,100		
MISC INTERIOR WINDOWS/GLAZING	2,100.00	SF	\$ 0.55	\$	1,155		
SUBTOTAL- 080000 DOORS & WINDOWS				\$	5,255	\$ 2.50	
090000 - FINISHES							
BUILDING REMODEL*******		LS	s -	\$	-		
FLOOR/WALL/BASE/CEILING FINISHES	2,100.00	SF	\$ 30.00	\$	63,000		
SUBTOTAL- 090000 FINISHES					63,000	\$ 30.00	
SUBTUTAL 050000 FINISHES				,	65,000	3 30.00	
PHILIPPO 1 100000 OPPOSITED							
DIVISION 100000 - SPECIALTIES							
BUILDING REMODEL*******		LS	\$ -	\$			
MISCELLANEOUS SPECIALTIES	2,100.00	SF	\$ 0.50	\$	1,050		
SUBTOTAL- 100000 SPECIALTIES				\$	1,050	\$ 0.50	
DIVISION 110000 - EQUIPMENT							
BUILDING REMODEL*******		LS	s -	\$	-		
MISCELLANEOUS EQUIPMENT	2,100.00	SF	\$ 0.25	\$	525		
SUBTOTAL- 110000 EQUIPMENT				\$	525	\$ 0.25	
DIVISION 120000 - FURNISHINGS							
BUILDING REMODEL********	_	LS	s -	s			
		LS		\$			N/A-EYCLUDED
FLOOR/ENTRY MATS	-	L.J		3			N/A-EXCLUDED
WINDOW TREATMENTS-ROLLER SHADES/BLINDS	-	SF	\$ 21.00	\$			N/A-OWNER FF & E
DEETENTION FURNISHINGS & EQUIPMENT	-	LS	\$ 65,000.00	s	-		N/A-EXCLUDED
		-				-	
SUBTOTAL- 120000 FURNISHINGS				\$		\$ -	
DIVISION 130000 - SPECIAL CONSTRUCTION							
BUILDING REMODEL*******		LS	s -	\$			
X-RAY PROTECTION	-	SF	s -	s	-		N/A-EXCLUDED
PHOTOVOLTAIC POWER SYSTEM		LS	s -	s			N/A-EXCLUDED
SUBTOTAL- 130000 SPECIAL CONSTRUCTION	ON			2		s -	
TOTAL TOUGH STEELE CONSTRUCTION						1	

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 2,100.00

DES	CRIPTION			QTY	U/M	UNIT	PRICE		Т	OTALS	CO	ST/SF	NOTES/COMMENTS
KMART BUI	LDING-BUIL	OUT C	F 1 COURTROOM										
DIVISION 14	10000 - CONV	EYING SY	STEMS										
HYDRAULIC I	ELEVATOR-2 S	TOP			EA	s			s				N/A-EXCLUDED
HC WHEEL C					EA	s			s				N/A-EXCLUDED
SUB	TOTAL- 1400	00 CON	EYING SYSTEMS						s		s	-	
DIVISION 21	0000 - FIRE S	UPPRESS	ION SYSTEMS										
	EMODEL****				LS	\$			s				
	LERS- WET PIP				SF	S	1.85		s				EXISTING SYSTEMS
									-				
SUB	STOTAL: 2100	00 FIRE	SUPPRESSION SYST	EMS					s		s	-	
									-		Ť		
DIVISION 23	30000 PLUMB	NG SYST	EMS								t		
	EMODEL****			-	LS	s			s		t		
PLUMBING SY				2.100.00		s	2.00		s	4,200			
LUMBING E				2,100.00		s	-		_	NCLUDED			
DOMESTIC W	-			2,100.00		-				NCLUDED			
	OF DRAINAGE			2,100.00		s				NCLUDED			N/A- SLOPED TO GUTTERS
SANITARY SE				2,100.00		-				NCLUDED			TO GOTTERO
	NT- ABOVE GR	ADE		2,100.00						NCLUDED			
NAT GAS PIP		ADE		2,100.00						NCLUDED			
TIXTURES	ING			2,100.00						NCLUDED			
PLUMBING IN	ICHI ATION			2,100.00						NCLUDED			
LUMBING IN	NSULATION			2,100.00	эг				- '	NCLUDED			
CTID	TOTAL BLUB	ADDING CV	CTPMC						s	4.200	s	2.00	
308	STOTAL- PLUI	IBING 51	SIEMS						3	4,200	3	2.00	
DIVICION 24	I III A C CVCTI												
	HVAC SYSTI				LS	s			s	-			
				2,100.00		S	14.00		s	29,400			
IVAC SYSTE	M-					3	14.00		ς .	29,400			
EQUIPMENT	a Accrecen	20		2,100.00		-			4				
	& ACCESSORII								\$		 		
	ONIC PIPING S	12		2,100.00		S	-		\$		-		
HVAC INSULA				2,100.00		-			\$		+-		
IVAC CONTI				2,100.00		-			\$		+-		
TEST & BALA				2,100.00					\$		-		
GEOTHERMA	L WELL FIELD			-	LS	S			\$		-		N/A-EXCLUDED
						ļ					-		
SUB	STOTAL- HVA	C SYSTE	4S						\$	29,400	\$	14.00	
											1		

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL T.
BGSF 2,100.00

DESCRIPTION	QTY	II/M	UNIT PRICE	 т.	OTALS	COST /SE	NOTES (COMMENTS
DESCRIPTION		U/M	UNIT PRICE	10	JIALS	COST/SF	NOTES/COMMENTS
KMART BUILDING-BUILD OUT OF 1 COURTROO	M						
DIVISION 260000 ELECTRICAL SYSTEMS							
BUILDING REMODEL*******	-	LS	\$ -	\$			
ELECTRICAL WORK	2,100.00	SF	\$ 16.00	\$	33,600		
EQUIPMENT- SECONDARY	2,100.00	SF	s -	II:	NCLUDED		
POWER DISTRIBUTION	2,100.00	SF	s -	IP	NCLUDED		
LIGHTING & CONTROLS	2,100.00	SF	s -	II.	NCLUDED		
FIRE ALARM SYSTEM	2,100.00	SF	s -	II.	NCLUDED		
DATA/COMMUNICATIONS-ROUGH IN	2,100.00	SF	s -	11	NCLUDED		
ACCESS CONTROL-ROUGH IN	2,100.00	SF	s -		NCLUDED		
SECURITY SYS-ROUGH IN	2,100.00	SF	s -		NCLUDED		
AV SYSTEM-ROUGH IN	2,100.00	SF	s -	s	*CLUDED		N/A-EXCLUDED
AV 3131EM-ROUGH IN	2,100.00	31	3 -	3			N/A-EXCLUDED
CURRENT PURCHASA CUCHRIS				_	00.000		
SUBTOTAL- ELECTRICAL SYSTEMS				\$	33,600	\$ 16.00	
DIVISION 270000 SPECIAL/LV SYSTEMS							
BUILDING REMODEL*******	-	LS	\$ -	\$			
DATA / COMMUNICATIONS-WIRING/DEVICES/EQUIP	2,100.00	SF	\$ 3.45	\$	7,245		
AV SYSTEM-WIRING/DEVICES/EQUIPMENT-COURT							
ROOMS	-	EA	\$ 75,000.00	\$	-		N/A-OWNER FF & E
AV SYSTEM-WIRING/DEVICES/EQUIPMENT-BOCC							
CHAMBERS	-	EA	\$ 75,000.00	\$	-		N/A-OWNER FF & E
AV SYSTEM-WIRING/DEVICES/EQUIPMENT-CONF /							NA CHARACTER OF A F
TRAINING RMS	-	EA	\$ 25,000.00	\$			N/A-OWNER FF & E
ACCESS CONTROL SYS-WIRING/DEVICES/EQUIP	2,100.00	SF	\$ 1.10	\$	2,310		
SECURITY SYS-WIRING/DEVICES/EQUIPMENT	2,100.00	SF	\$ 2.30	\$	4,830		
SUBTOTAL- SPECIAL/LV SYSTEMS				\$	14,385	\$ 6.85	
DIVISION 310000 SITE DEVELOPMENT							
SITE PREPARATION / EROSION & SEDIMENT CONTRO	L -	AC	\$ -	\$			N/A-SEE SITE DEV ESTIMATE
SITE CLEARING/SITE DEMO	-	LS	s -	s			N/A-SEE SITE DEV ESTIMATE
EARTHWORK / SITE GRADING / CUT & FILL	-	LS	\$ -	\$			N/A-SEE SITE DEV ESTIMATE
IMPORTED BASE COURSE- PAVEMENT BASES		LS	s -	\$	-		N/A-SEE SITE DEV ESTIMATE
DOMESTIC/FIRE WATER SERVICE		LS	s -	\$			N/A-SEE SITE DEV ESTIMATE
STORM SEWER -MANHOLE/DRAINS/PIPING		LS	s -	\$			N/A-SEE SITE DEV ESTIMATE
SANITARY SEWER SERVICE-MANHOLES/PIPING	-	LS	s -	s			N/A-SEE SITE DEV ESTIMATE
NATURAL GAS SERVICE		LS	s -	\$			N/A-SEE SITE DEV ESTIMATE
SITE CONCRETE-FLATWORK	-	LS	s -	s			N/A-SEE SITE DEV ESTIMATE
SITE FURNISHINGS- TRASH RECEP/BENCHES		LS	s -	s			N/A-SEE SITE DEV ESTIMATE
LANDSCAPING		LS	s -	\$			N/A-SEE SITE DEV ESTIMATE
Data Scianto		20	-	- 1			14/11 DEE DITE DEV EDITIONE
SUBTOTAL- SITE DEVELOPMENT				\$		s -	
SUBTOTAL: SITE DEVELOPMENT				3		\$ -	
SUBTOTAL-DIRECT COST-					308,135	\$ 146.73	
CONTINGENCY/BONDS/INSURANCE	E/FEES			\$	45,850	\$ 21.83	
TOTAL ESTIMATED CONSTRUC	TION COST			\$	353,985	\$ 168.56	
 				_			
	1	-					
	1	-		_			
	1						
	+			_			
	1		1				
 		-					

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R
BGSF 6,600.00

DESCRIPTION		QTY	U/M	UNIT PRICE	TOTAL	c	COST/SF	NOTES/COMMENTS
KMART BUILDING- BUILD (OUT OF COULEVIENCE			UNII PRICE	IOIA		CO31/3F	NOTES/COMMENTS
050000 - METALS	OT OF CSU EXTENSIO	N & HEALTH L	EF 13					
		0.000.00	on			==0		
MISC METALS		6,600.00	SF	\$ 3.75	\$ 24	,750		
SUBTOTAL- 050000	METALS				\$ 24	,750	\$ 3.75	
060000 - WOOD & PLASTICS								
BUILDING REMODEL*******		-	LS	\$ -	\$	•		
MISC BLOCKING/NAILERS-INT		6,600.00		\$ 0.55		,630		
MILLWORK/CASEWORK/ARCH	ITECTURAL WOODWORK	6,600.00	SF	\$ 4.50	\$ 29	,700		GENERAL MW ALLOWANCE
SUBTOTAL- 060000	WOOD & PLASTICS				\$ 33	,330	\$ 5.05	
070000 - THERMAL & MOIST								
BUILDING REMODEL********		-	LS	\$ -	\$			
CAULKING & SEALANTS		6,600.00	SF	\$ 0.45	S 2	,970		
SUBTOTAL- 070000	THERMAL & MOISTURE	PROTECTION			\$ 2	,970	\$ 0.45	
080000 - DOORS & WINDOW	3							
BUILDING REMODEL********		-	LS	\$ -	\$			
DOORS/FRAMES/HW-INTERIO	3	22.00	EA	\$ 2,050.00	\$ 45	,100		
MISC INTERIOR WINDOWS/GL		6,600.00		\$ 0.55		,630		
						,		
SUBTOTAL: 080000	DOORS & WINDOWS				\$ 48	,730	\$ 7.38	
						,		
090000 - FINISHES								
BUILDING REMODEL*******		_	LS	s -	s			
INTER PTNS/ FLOOR/WALL/BA		6,600.00		\$ 36.00		,600		
INTER PINS/ PLOOR/ WALL/ BA	SE/CEILING FINISHES	0,000.00	3F	3 30.00	3 237	,000		
CURTOTAL OCCOO	PINICHTE				\$ 237	C00	£ 20.00	
SUBTOTAL- 090000	FINISHES				\$ 237	,600	\$ 36.00	
L								
DIVISION 100000 - SPECIALT								
BUILDING REMODEL*******		-	LS	\$ -	\$	•		
MISCELLANEOUS SPECIALTIES		6,600.00	SF	\$ 2.00	S 13	,200		
SUBTOTAL- 100000	SPECIALTIES				\$ 13	,200	\$ 2.00	
	_							
DIVISION 110000 - EQUIPME								
BUILDING REMODEL*******		-	LS	\$ -	\$	•		
MISCELLANEOUS EQUIPMENT		6,600.00	SF	\$ 0.25	S 1	,650		
RESIDENTIAL APPLIANCES		-	EA	\$ 4,500.00	\$	-		N/A-OWNER FF & E
FOOD SERVICE EQUIPMENT-CO	DMMERCIAL .	-	LS	\$ -	S			N/A-EXCLUDED
LAUNDRY EQUIPMENT		-	LS	\$ -	S			N/A-EXCLUDED
MEDICAL EQUIPMENT		-	LS	\$ -	S	-		N/A-OWNER FF & E
AV EQUIPMENT-		-	LS	\$ -	S			N/A-OWNER FF & E
FACILITY MAINT EQUIPMENT		-	LS	s -	S			N/A-OWNER FF & E
LOADING DOCK EQUIPMENT		-	LS	\$ -	S	-		N/A-EXCLUDED
				1				
SUBTOTAL- 110000	EQUIPMENT				\$ 1	,650	\$ 0.25	
DIVISION 120000 - FURNISH	NGS							
BUILDING REMODEL******			LS	s -	\$	-		
FLOOR/ENTRY MATS		-	LS	\$ 2,000.00	s	-		
WINDOW TREATMENTS-ROLLE	R SHADES/BLINDS	_	SF	\$ 21.00	S	-		N/A-OWNER FF & E
DEETENTION FURNISHINGS &		-	LS	\$ 65,000.00	s			The state of the s
DELIENTION FURNISHINGS &	LOZOTI MENT	-	L.3	\$ 03,000.00	,	-		
CURTOTAL 120000	ELIDNICHINGS		-	1	\$		s -	
SUBTOTAL- 120000	FURNISHINGS		-		3	•	3 -	
	1	l	1				l	1

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 6,600.00

DESCRIPTION	I D OUT OF C	QTY		UNIT	I KICL		TOTALS	COST/SF	NOTES/COMMENTS
		SU EXTENSION & HEALTH L	JEP 13	+					
IVISION 130000 - SPEC		CHON		1.					
UILDING REMODEL****		-	LS	\$	-	\$			
-RAY PROTECTION		-	SF	S	-	s			N/A-EXCLUDED
HOTOVOLTAIC POWER S	YSTEM	-	LS	S	-	\$			N/A-EXCLUDED
	 	 		-					
SUBTOTAL- 130	000 SPECIAL O	CONSTRUCTION		-		\$	-	\$ -	
				-					
DIVISION 140000 - CON				1.					
HYDRAULIC ELEVATOR-2	STOP		EA	S	-	\$			N/A-EXCLUDED
IC WHEEL CHAIR LIFT			EA	S	-	\$			N/A-EXCLUDED
				-					
SUBTOTAL- 140	000 CONVEYI	NG SYSTEMS		-		\$	-	\$ -	
DIVISION 210000 - FIRE		SYSTEMS							
BUILDING REMODEL****		-	LS	\$	-	\$	-		
TIRE SPRINKLERS- WET PI	PE	-	SF	S	1.85	\$			EX SYSTEM
SUBTOTAL- 210	000 FIRE SUPI	PRESSION SYSTEMS				\$	-	\$ -	
DIVISION 230000 PLUM				1				ļ	
BUILDING REMODEL****	****	-	LS	\$	-	\$	-		
PLUMBING SYSTEMS		6,600.00	SF	S	7.00	\$	46,200		
PLUMBING EQUIPMENT		6,600.00	SF	s	-		INCLUDED		
DOMESTIC WATER		6,600.00	SF				INCLUDED		
STORM / ROOF DRAINAG	E	6,600.00	SF	s	-		INCLUDED		N/A- SLOPED TO GUTTERS
SANITARY SEWER-UG		6,600.00	SF				INCLUDED		
WASTE & VENT- ABOVE G	RADE	6,600.00	SF				INCLUDED		
NAT GAS PIPING		6,600.00	SF				INCLUDED		
TIXTURES		6,600.00	SF				INCLUDED		
PLUMBING INSULATION		6,600.00	SF				INCLUDED		
SUBTOTAL- PLU	MBING SYSTE	MS				\$	46,200	\$ 7.00	
DIVISION 24 HVAC SYST	EMS								
BUILDING REMODEL****	****	-	LS	\$	-	\$	-		
HVAC SYSTEM-		6,600.00	SF	s	16.00	s	105,600		
QUIPMENT			SF			S			
DUCTWORK & ACCESSOR	IES	6,600.00				s			
HVAC HYDRONIC PIPING		6,600.00		s	-	s			
HVAC INSULATION	1	6,600.00		1		s			
HVAC CONTROLS		6,600.00				s			
TEST & BALANCE		6,600.00				s			
GEOTHERMAL WELL FIELD)	-	LS	s		s			N/A-EXCLUDED
JEOTHER MELETINES	1		LU						TYTE ENCEODED
SUBTOTAL- HV	AC SYSTEMS			+		\$	105,600	\$ 16.00	
JUDIOTAL HV	L JIJILMS			+		- 1	103,000	J 10.00	
DIVISION 260000 ELECT	RICAL SYSTEM	AS.		+					
BUILDING REMODEL****		10	LS	\$		 s		 	
ELECTRICAL WORK	_	6,600.00	SF	S	16.85	 \$	111,210	 	
OWER DISTRIBUTION		6,600.00		S	10.85	 3	INCLUDED	 	
	1			S	-				
JIGHTING & CONTROLS			SF	S			INCLUDED		
FIRE ALARM SYSTEM	1	6,600.00			-		INCLUDED	1	
DATA/COMMUNICATION			SF	S	-		INCLUDED		
ACCESS CONTROL-ROUGH		6,600.00		S	-		INCLUDED		
SECURITY SYS-ROUGH IN	1		SF	S	-		INCLUDED		
AV SYSTEM-ROUGH IN		6,600.00	SF	S	-	\$		l	N/A-EXCLUDED
	CTRICAL SYST			+					
						s	111,210	\$ 16.85	

MOFFAT COUNTY COURTS & COUNTY SERVICES MOFFAT COUNTY CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-RI
BGSF 6,600.00

													BGSF	6,600
	DESCRIP	TION			QTY	U/M	UNIT PRI	CE		T	OTALS	C	OST/SF	NOTES/COMMENTS
KMART	T BUILDIN	IG- BUII	D OUT	OF CSU EXTENSIO	N & HEALTH I	DEPTS								
DIVISIO	ON 270000	SPECIA	L/LV SY	STEMS										
DATA /	COMMUN	ICATION	S-WIRING	J/DEVICES/EOUIP	6,600,00	SF	s 2	00		s	13,200			
AV SYST	ΓΕΜ-WIRIN	G/DEVIO	ES/EQUI	PMENT-COURT										
ROOMS					-	EA	\$ 75,000.	00		\$	-			N/A-OWNER FF & E
		G/DEVIO	ES/EQUI	PMENT-BOCC										
CHAMB		o meru	no moru	numm coum /	-	EA	\$ 75,000	00		\$	-			N/A-OWNER FF & E
	I EM-WIKIN NG RMS	G/DEVIC	ES/EQUI	PMENT-CONF /		EA	\$ 25,000	00		e				N/A-OWNER FF & E
		eve wii	DINC /DEV	/ICES/EOUIP	6,600.00			10		S	7,260			NYA-OWNER IT & L
	TY SYS-WII				6,600.00			00	+	S	6,600			
SECURI	1 1 212-MI	GING/DE	VICES/EC	UIPMEN I	6,600.00	SF	3 1.	00		3	0,600			
	ou man					-	1		+			.		
	SUBTOT	AL- SPEC	IAL/LV	SYSTEMS				_		\$	27,060	\$	4.10	
			L											
DIVISIO	ON 310000	SITE D	EVELOPN	MENT										
SITE PR	EPARATIO	N / EROS	SION & SE	DIMENT CONTROL		AC	s .			\$				N/A-SEE SITE DEV ESTIMATI
SITE CL	EARING/S	TE DEM	C			LS	s .			\$				N/A-SEE SITE DEV ESTIMATE
EARTH	WORK / SI	ΓE GRAD	ING / CU	T & FILL	-	LS	s .			\$				N/A-SEE SITE DEV ESTIMATI
IMPORT	ED BASE O	OURSE-	PAVEMEN	NT BASES	-	LS	s .			\$				N/A-SEE SITE DEV ESTIMATI
DOMES'	TIC/FIRE V	VATER SI	ERVICE			LS	S -			\$				N/A-SEE SITE DEV ESTIMATE
STORM	SEWER -M.	ANHOLE,	/DRAINS,	/PIPING		LS	S -			\$				N/A-SEE SITE DEV ESTIMATI
			-MANHO	LES/PIPING		LS	\$			\$				N/A-SEE SITE DEV ESTIMATE
	AL GAS SE				-	LS	\$	_		\$				N/A-SEE SITE DEV ESTIMATI
	NCRETE-F				-	LS	\$	_		\$				N/A-SEE SITE DEV ESTIMATI
	RNISHING	S- TRASE	I RECEP/	BENCHES	-	LS	s .			\$				N/A-SEE SITE DEV ESTIMATI
LANDSC	CAPING					LS	S .			\$				N/A-SEE SITE DEV ESTIMATI
	SUBTOT	AL- SITE	DEVELO	PMENT						\$	•	\$		
	1	SURTO	TAL-DIR	ECT COST-				-	+	s	652,300	s	98.83	
				ONDS/INSURANCE/	EEEC		1		+	S	97,062	S	14.71	
		CONTIN	GLIVE I / B	ONDS/ INSURANCE/	ILLO					,	37,002	٠	14./1	
		TOTAL	ESTIMA	TED CONSTRUCT	TON COST					\$	749,362	\$	113.54	
										Ė	. ,	ŕ		
			1	1			1							

